

**PLANNING AND ZONING COMMISSION
AGENDA
PUBLIC INFORMATION MEETING - VIRTUAL
September 27, 2022, 7:00 P.M.**

Planning and Zoning Commission
Tue, Sep 27, 2022 7:00 PM - 10:00 PM (EDT)

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/246813237>

You can also dial in using your phone.

United States: [+1 \(408\) 650-3123](tel:+14086503123)

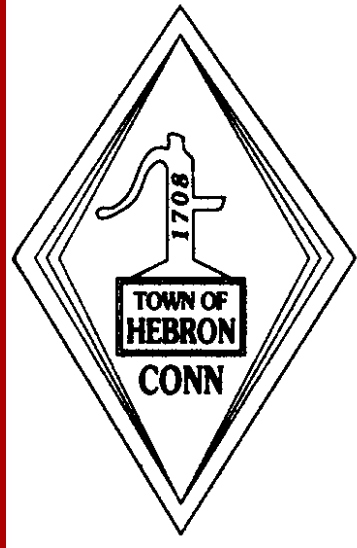
Access Code: 246-813-237

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REGULAR MEETING

- I. Call to Order / Roll Call
- II. Approval of Minutes September 13, 2022 Regular Meeting
- III. Recognition of Guests
- IV. Action on Pending Applications
- V. New Business
 - A. Additional New/Revisited Business:
 - 1. Public Information Meeting regarding the draft Conservation Section of the 2024 Plan of Conservation and Development update.
 - 2. Q & A
- VI. Correspondence
- VII. Adjournment

Next Meetings: October 11, 2022 Public Hearing / Regular Meeting
October 25, 2022 Regular Meeting / POCD Workshop



Plan of Conservation and Development

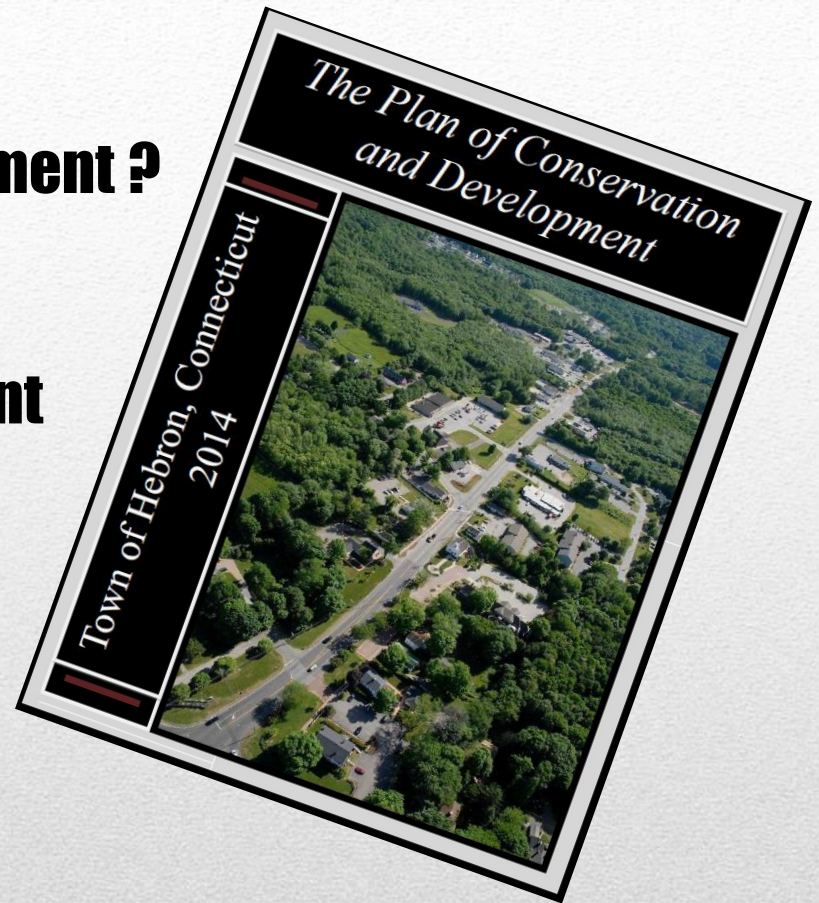
September 2022 Public Information Meeting on the:

Conservation Plan & Policies

Welcome !

What is a Plan of Conservation and Development ?

- **Master plan**
- **Comprehensive vision statement**
- **Analysis of past growth**
- **Long range vision**
- **Goals, Policies, Action Steps**
- **Required by State law**
- **Updated every 10 years**

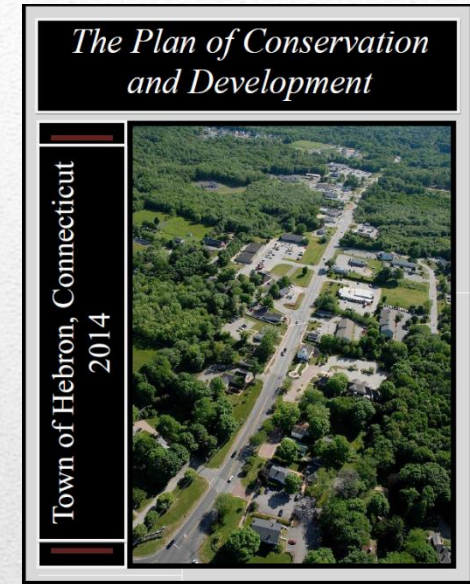


2024 Plan of Conservation and Development

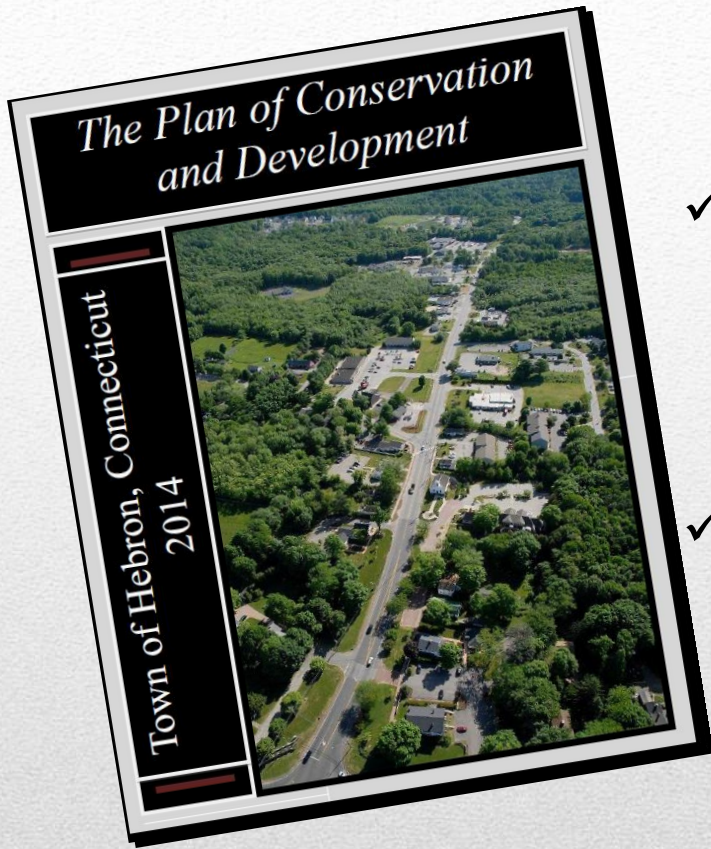
What is the Process to Update the Plan of Conservation and Development ?

**State law charges the Planning Commission with adopting and updating the Plan
Requires at least 1 public hearing, and before the hearing:**

- **Must be referred to Bd of Selectmen for comment**
- **Must post on Town website**
- **Must be referred to CRCOG for comment**
- **Must be filed with Town Clerk**
- **Notice of hearing must be posted in newspaper**

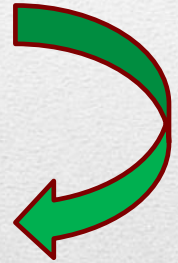


2024 Plan of Conservation and Development



- ✓ **Updated Every 10 Years by State Law**
 - ✓ **Last prepared in 2014**
 - ✓ **On target to have the Plan updated In 2024**

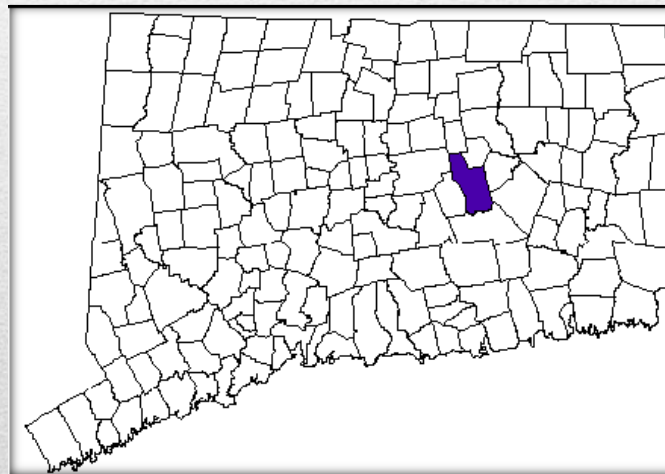
- ✓ **Components:**
 - ✓ **Community Profile**
 - ✓ **Conservation Plan & Policies**
 - ✓ **Development Plan & Policies**
 - ✓ **Consistency with State & Regional Plans**



2024 Plan of Conservation and Development

Section 2

Conservation Plans & Policies



*"I look forward to an America which will not be afraid of grace and beauty...which will preserve the great old American houses and squares and parks of our national past, and which will build handsome and balanced cities for our future." **John F. Kennedy***

Conservation Plan & Policies:

Provides Overall Goals and Policies and Action Items on the protection of Hebron's Natural Resources



Conservation Plan & Policies:

B. Underground Drinking Water Supplies

Accomplishments since 2014:

1. A new Groundwater Protection Overlay (GPO) District was established over the Raymond Brook Marsh aquifer and its watershed.
2. The Commission reviewed maps and data from the Department of Energy and Environmental Protection (DEEP) and determined that all other aquifer areas were well protected by the Inland Wetland Regulations, floodplain regulations and Town-owned open space acquisitions.
3. Provisions have been included in the Zoning and Subdivision Regulations to encourage the use of subsurface infiltrators, sheet drainage from paved areas, and open drainage swales in new developments to promote recharge of groundwater.
4. The 2018 update to Zoning Regulations includes an impervious limit for parking areas in new development to decrease stormwater discharge off site.



2024 Plan of Conservation and Development

Conservation Plan & Policies:

B. Underground Drinking Water Supplies

5. The Town used pervious pavement in two parking lots in Hebron Center to increase groundwater recharge and as example of Low Impact Development (LID) practices.
6. Following-up on the “Municipal Land Use Evaluation Project” sponsored by the Salmon River Watershed Partnership, the Commission amended the Subdivision Regulations to reduce road width requirements that will have the effect of decreasing stormwater runoff.
7. The Town worked with the Connecticut Water Company in the update of their Water Supply Plan to recognize the Raymond Brook Aquifer as a future water supply source in their long-range plan.



2024 Plan of Conservation and Development

Conservation Plan & Policies:

B. Underground Drinking Water Supplies



8. Extensive open space acquisition efforts have targeted the Raymond Brook and Judd Brook Marsh areas by both the Town and the State of CT; both areas are considered potential sources of future drinking water supply.
9. The Town has continued its membership and support of the Salmon River Watershed Partnership in a region-wide effort to identify measures to enhance and protect water supplies.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

B. Underground Drinking Water Supplies

Goal: Preservation and protection of Hebron's finite ground water resources and their recharge areas.

- **Policies and Action Items are included to accomplish this Goal**



Conservation Plan & Policies:

B. Underground Drinking Water Supplies



Policies:

1. Protect water supply **aquifers** from land uses that pose a water quality risk.
2. **Raymond Brook Marsh** has been identified in the Groundwater Protection Overlay District in the Zoning Regulations.
3. The Town relies entirely on private and **small community wells** tapping primarily low yielding bedrock aquifers. Land use types and densities should be compatible with the need to protect these on-site water supplies.

Conservation Plan & Policies:

B. Underground Drinking Water Supplies



4. Maintain Town **ownership** of drinking water supplies within town-owned land.
5. Open space **land acquisitions** efforts should continue to consider the protection
of alluvium sand and gravel deposits and stratified drift deposits.
6. Encourage cooperative efforts among the CT Water Company, the State of CT, and local land use agencies to **protect future water supply recharge** areas.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

B. Underground Drinking Water Supplies

Action Items:

1. Promote **safe recharge** of ground water supplies:
discharge of roof drains into subsurface infiltrators, sheet drainage from paved areas, open drainage swales, rain gardens, and pervious paved areas.
2. Employ integrated, low-impact or **organic pest management** practices.
3. Communicate the negative impacts of **harsh chemical lawn treatments**.
4. Evaluate **road de-icing practices** and materials, ascertain impacts water supplies, and encourage materials that are biodegradable and least harmful to water quality.



2024 Plan of Conservation and Development

Conservation Plan & Policies:

B. Underground Drinking Water Supplies

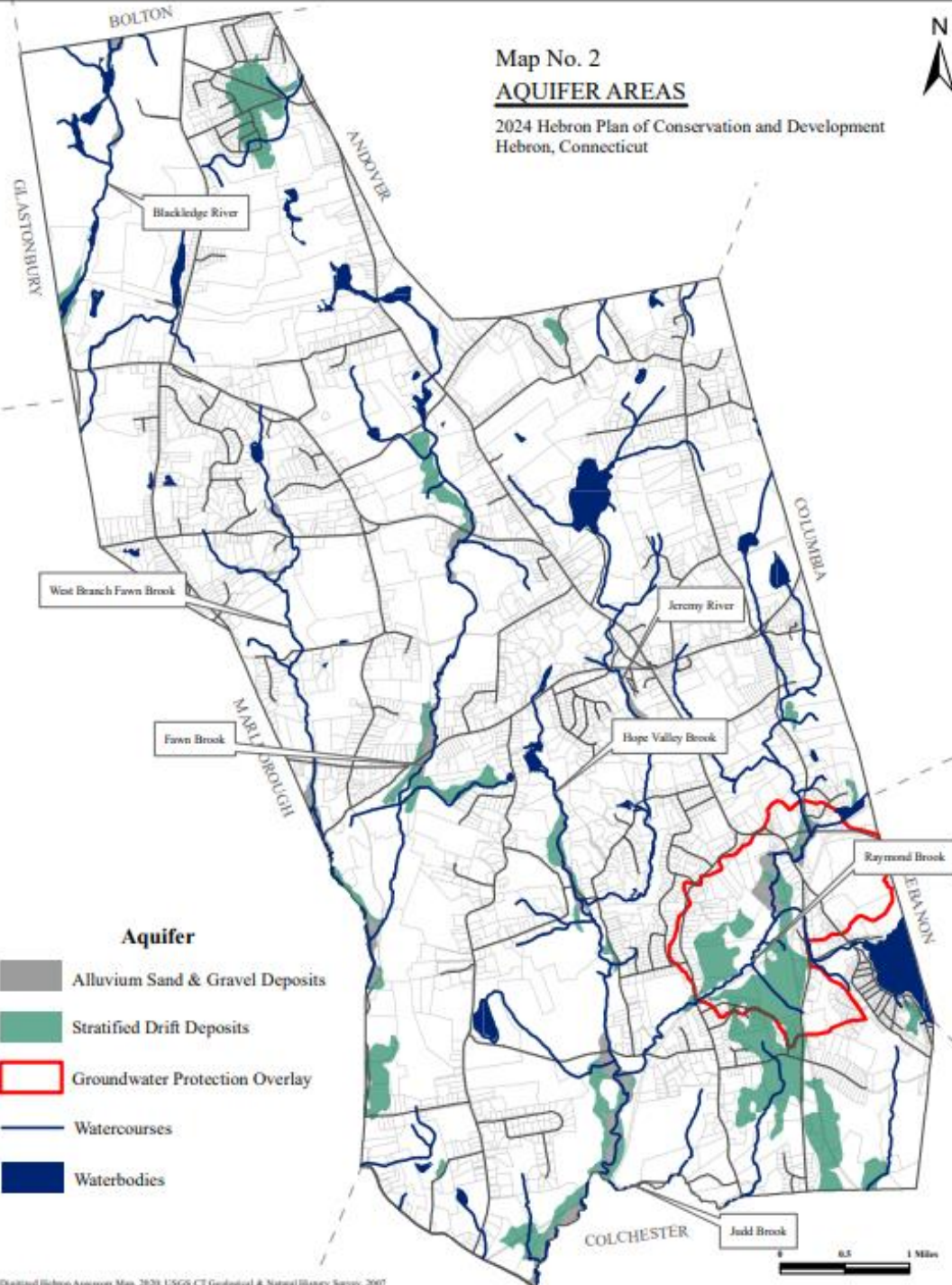


5. Amend **Zoning Regulations** to protect wells by setting specific separating distances for salt storage, hazardous substances, filling stations, and similar uses.
6. Support the **Salmon River Watershed Partnership** to protect water supplies, cooperate in studies, and consider future recommendations.
7. Investigate alternative means of **eliminating unwanted vegetation** along guardrails, culverts, etc.,
8. Evaluate **road deicing procedures** to seek alternatives to sodium chloride which has negative impacts to...water supply wells.

2024 Plan of Conservation and Development

Map No. 2
AQUIFER AREAS

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Aquifer

-  Alluvium Sand & Gravel Deposits
-  Stratified Drift Deposits
-  Groundwater Protection Overlay
-  Watercourses
-  Waterbodies



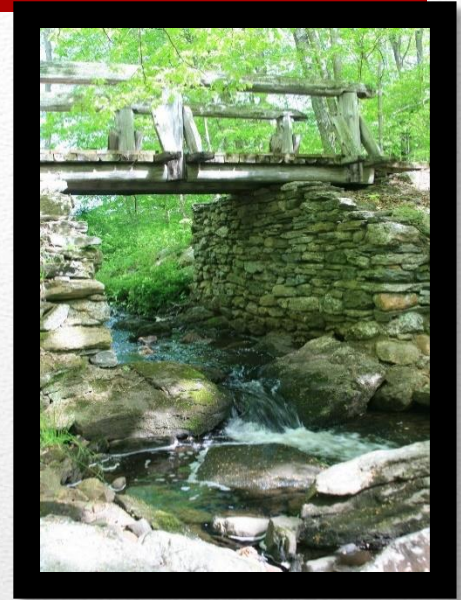
Source: Digitized Hebron Assessment Map, 2023, USGS CT Geological & Natural History Survey, 2007

Conservation Plan & Policies:

C. Stream Corridors, Bodies of Water and Wetland Soils

Accomplishments since 2014:

1. With 2018 update of Hebron Zoning Regulations, a maximum amount of paved impervious parking lot areas was established to limit impervious cover
2. Open space purchases and dedications have occurred in significant stream corridors to continue the permanent preservation of greenbelts along these important systems.
3. New trails have been developed in Raymond Brook Preserve park. Phase 1 and Phase 2 trails have been constructed, These are part of the planned trail connection of Hebron Center to the Air Line Trail. The Town has received a Notice of Grant Award for the Phase 3 trail that will further this connection.

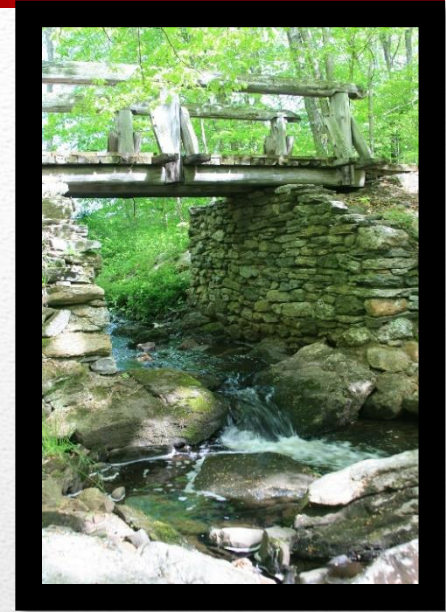


2024 Plan of Conservation and Development

Conservation Plan & Policies:

C. Stream Corridors, Bodies of Water and Wetland Soils

4. Salmon River Watershed Partnership (SRWP) has implemented a water quality monitoring program and within Hebron.
5. The SRWP has developed goals and objectives that point out the importance of the Salmon River from an environmental and economic standpoint. They performed stream monitoring in Hebron. The Town has been an active participant and provides an annual contribution to support its efforts. Several regulation amendments were adopted as recommended in the “Municipal Land Use Evaluation Project”.

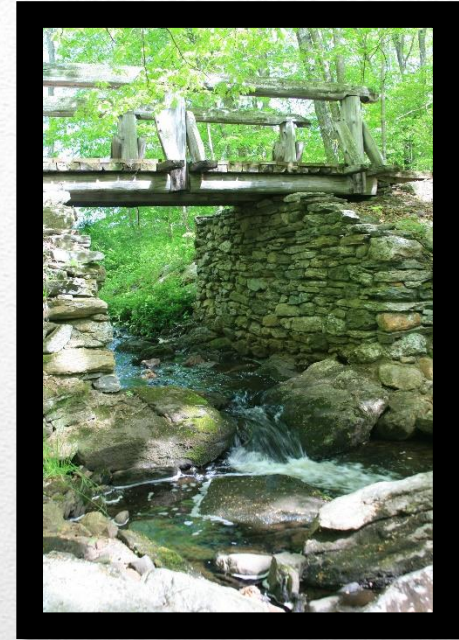


2024 Plan of Conservation and Development

Conservation Plan & Policies:

C. Stream Corridors, Bodies of Water and Wetland Soils

Goal: Protect the natural functions of stream corridors and surface waters and to maintain them in their natural state. Prevent the degradation of water quality and habitat that aquatic systems provide, and maintain natural water flow to and from all aquatic systems.

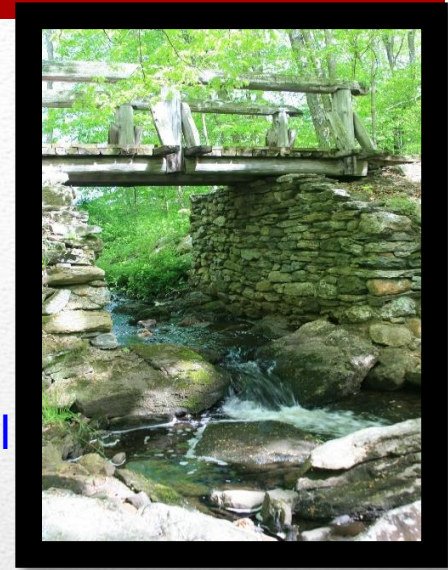


Conservation Plan & Policies Section:

C. Stream Corridors, Bodies of Water and Wetland Soils

Policies:

1. Maintain less than **10% impervious surface** in all regional and sub-regional watersheds.
2. Encourage the dedication of **open space and conservation easements** along corridors of significant value.
3. Encourage / preserve **trail networks** along stream corridors, to allow access for nature / historical study and recreation as appropriate.
4. Maintain / restore the integrity of **stream banks, streambeds, and tree canopy**.

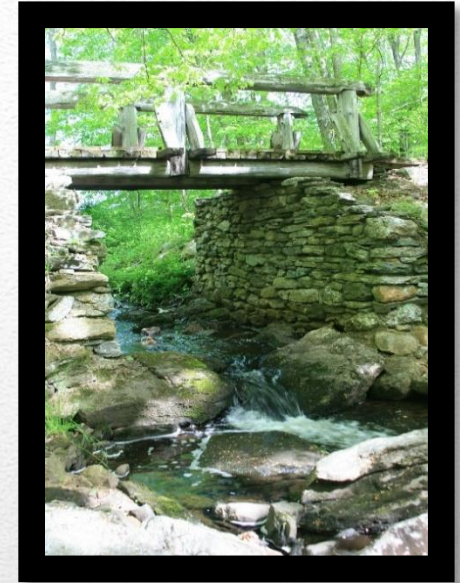


2024 Plan of Conservation and Development

Conservation Plan & Policies Section:

C. Stream Corridors, Bodies of Water and Wetland Soils

5. Support and assist the **Salmon River Partnership** efforts to help protect streams and watercourses and consider recommendations from future studies.
6. Future **open space land acquisition** efforts to protect the water quality of the Town's watercourses, water bodies, sensitive wetlands and Wetlands of Special Concern should be considered.
7. Keep **native vegetation** intact within municipally owned / maintained riparian corridors to prevent the introduction of non-native invasive plants.



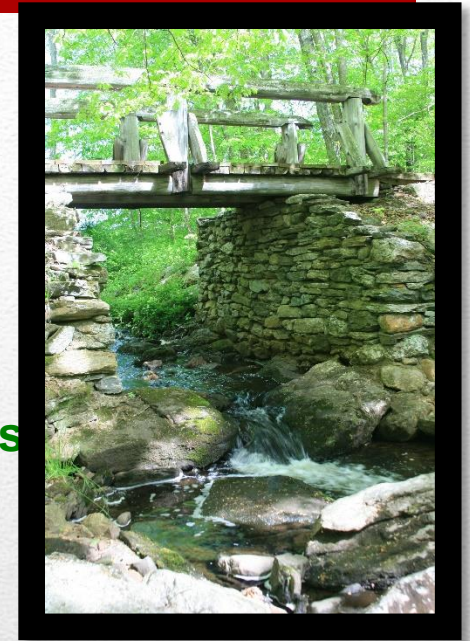
2024 Plan of Conservation and Development

Conservation Plan & Policies:

C. Stream Corridors, Bodies of Water and Wetland Soils

Action Items:

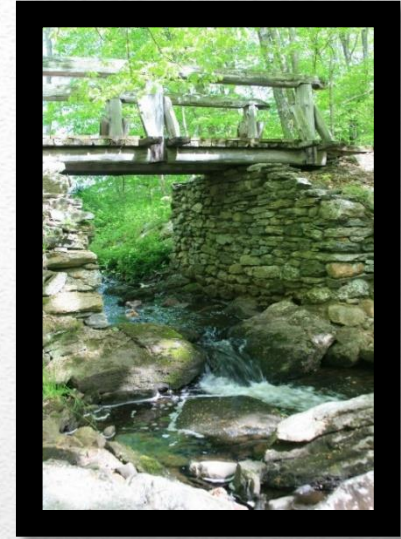
1. Maintain maximum amount of **vegetation on slopes** greater than 15% next to watercourses / wetlands.
2. **Restrict clear-cutting** and discourage the removal of native vegetation in environmentally sensitive stream corridors as shade canopy trees help to maintain water temperatures and prevent streambank erosion.
3. Continue to assess wetland areas and **strengthen** Inland Wetlands and Watercourses **Regulations** for ecologically sensitive areas.
4. Identify, monitor, and appropriately treat or **control aquatic non-native Invasive species** on Town owned properties.



Conservation Plan & Policies:

C. Stream Corridors, Bodies of Water and Wetland Soils

5. Work with public and private agencies, non-profit groups and affected property owners, to acquire and protect **land adjacent to stream corridors**.
6. Encourage nature and historical **site walks** with featured speakers to attract visibility to the importance of aquatic systems / cultural assets along waterways.
7. With the Salmon River Watershed Partnership, continue the ongoing **water quality monitoring program** with all major watercourses and bodies of water.
8. Work with fishing groups to promote **recreational benefits** of stream corridors.

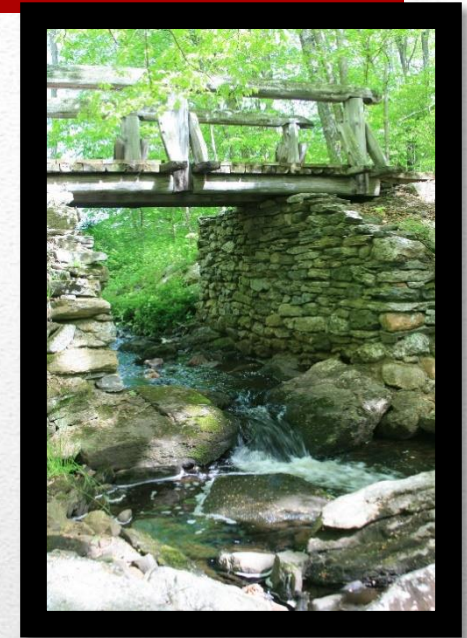


2024 Plan of Conservation and Development

Conservation Plan & Policies:

C. Stream Corridors, Bodies of Water and Wetland Soils

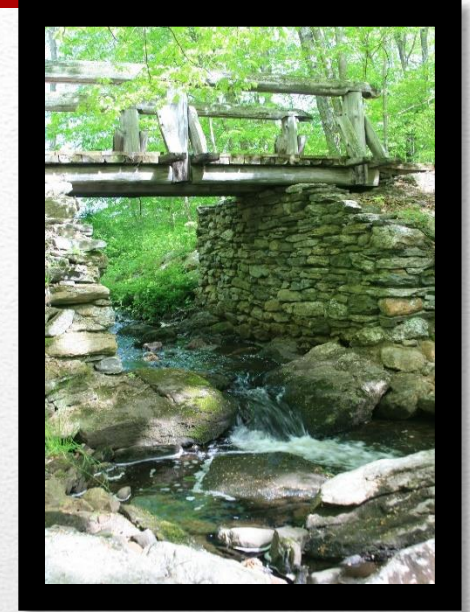
9. Promote **educational activities** and programs, such as essay contests, to raise awareness of the importance of stream corridors as well as of aquatic and streamside plants and wildlife.
10. Evaluate current roadside **herbicide treatment**, practices / materials, ascertain possible impacts of such practices / materials to wetlands, water bodies, and watercourses, and consider mechanical means of vegetation control.
11. Consider organizing a **volunteer network** to help contain / limit non-native invasive plants on municipality owned riparian corridors.



Conservation Plan & Policies Section:

C. Stream Corridors, Bodies of Water and Wetland Soils

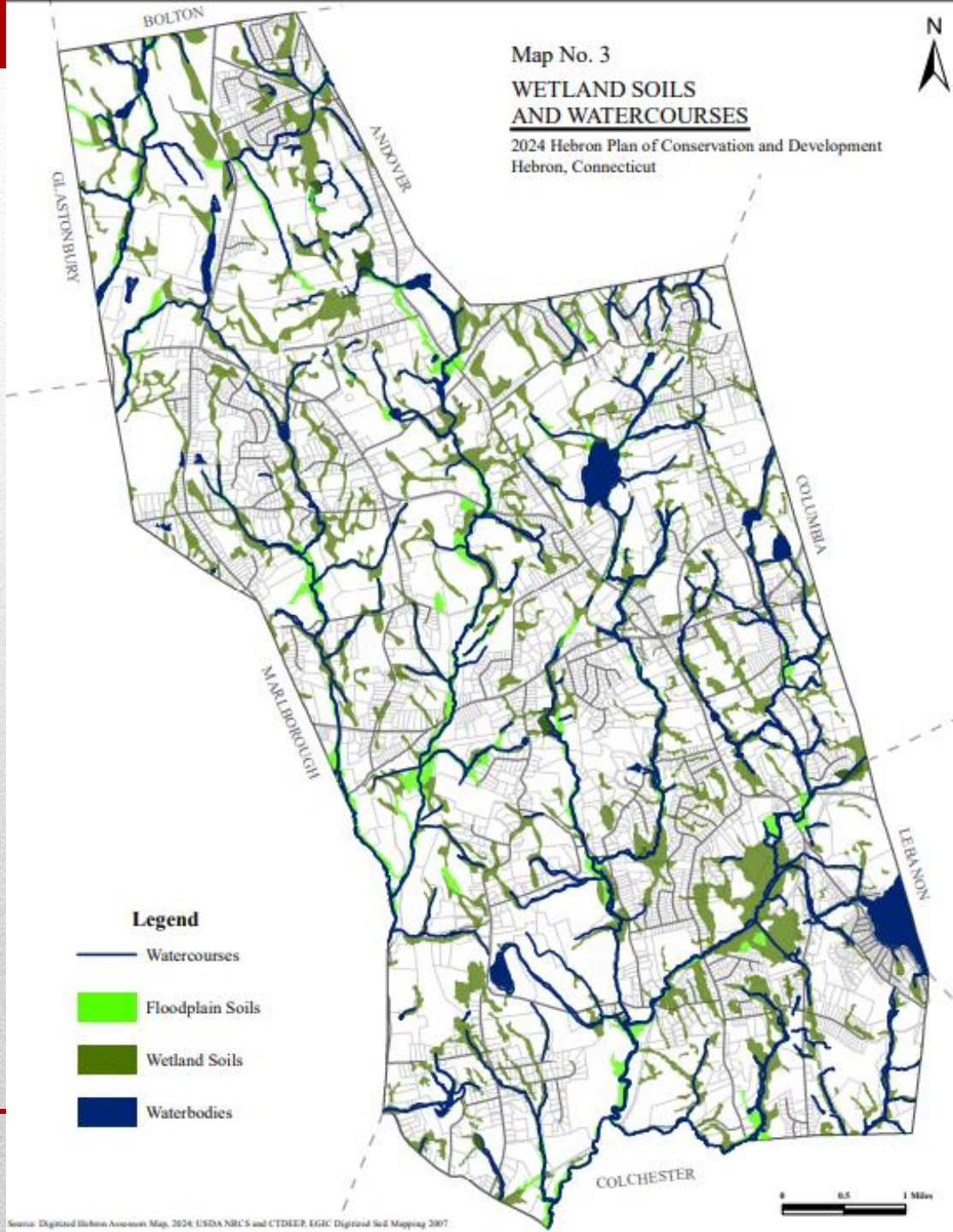
12. The Department of Public Works should evaluate **road deicing procedures** and materials and utilize Best Management Practices to seek safer alternatives to sodium chloride which has negative impacts to vegetation, waterways, freshwater inhabitants, and water supply wells and consider materials that are biodegradable and least harmful to these water resources.
13. Identify and **restore open streambanks** as appropriate

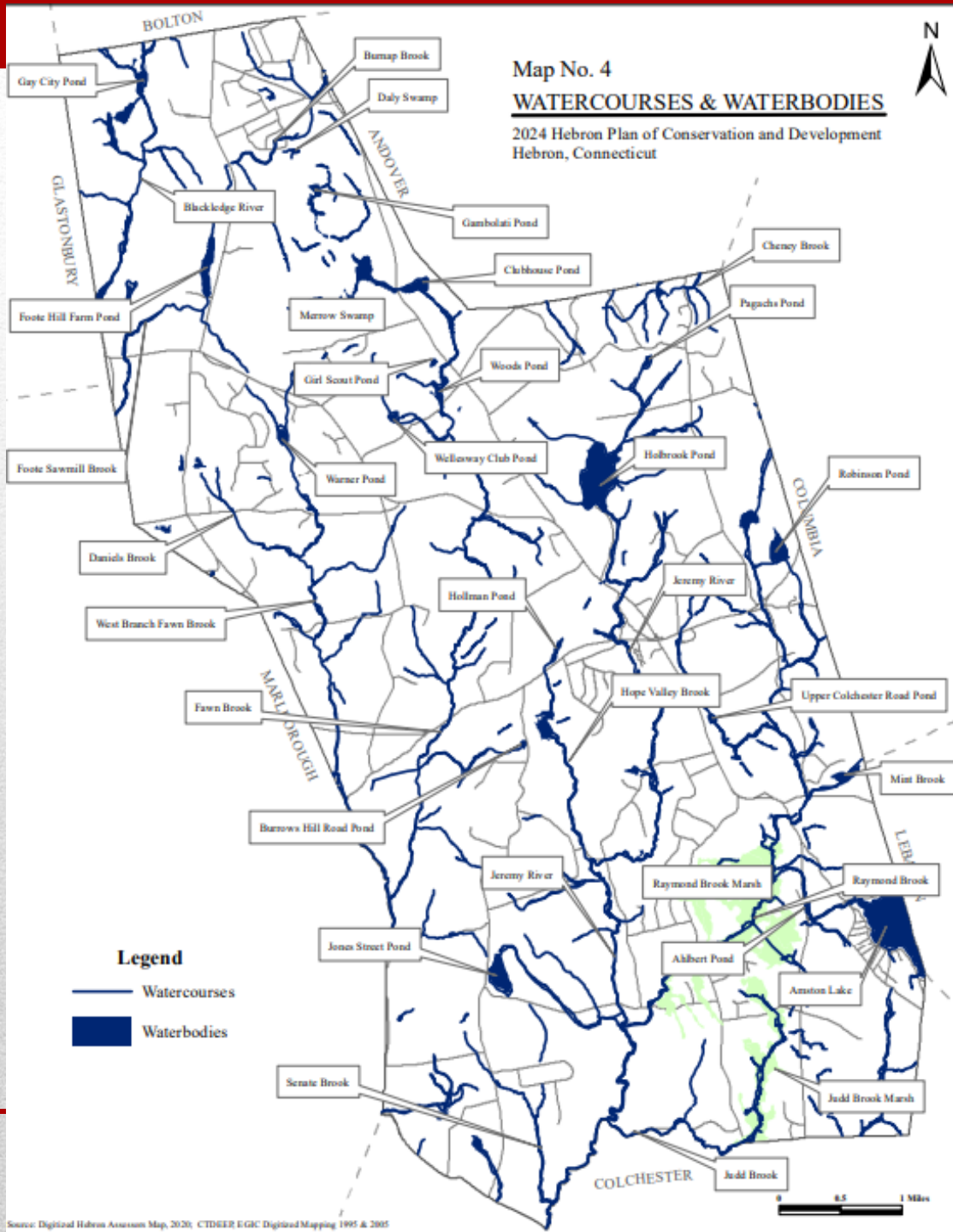


Map No. 3

**WETLAND SOILS
AND WATERCOURSES**

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



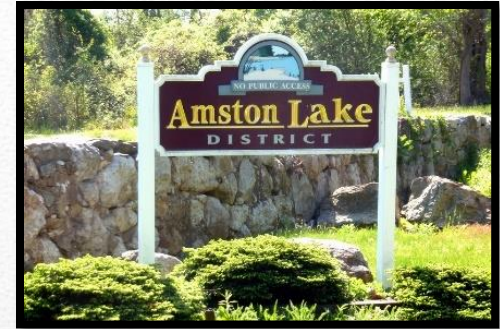


Source: Digitized Hebron Assessment Map, 2020; CTDEER E/GIC Digitized Mapping 1995 & 2005

Conservation Plan & Policies Section:

D. Amston Lake

Accomplishments since 2014:

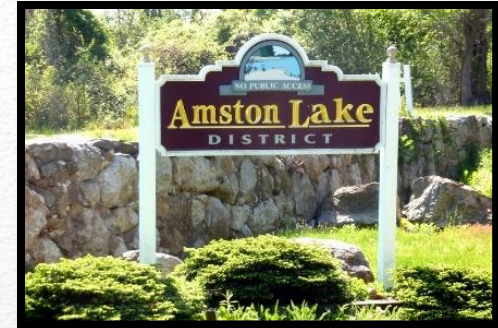


1. The Town and the Amston Lake Tax District have coordinated on several storm water retrofit projects to minimize stormwater impacts on the Lake.
2. The Town and the Amston Lake Tax District have each constructed stormwater improvements to improve water quality.
3. The Planning and Zoning Commission and the Conservation Commission routinely requires use of rain gardens and or infiltrators in new construction to reduce negative impacts to Amston Lake.

2024 Plan of Conservation and Development

Conservation Plan & Policies Section:

D. Amston Lake

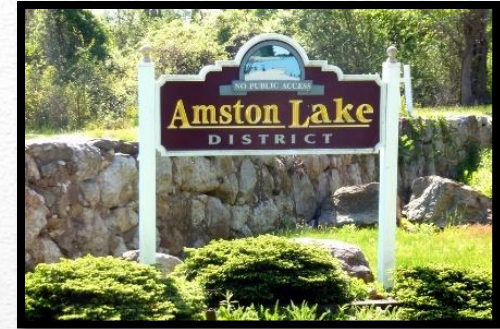


4. The Town undertook a major stormwater quality improvement at the intersection of Deepwood Drive and Wood Acers Road by installing a Vortex sediment control structure.
5. In 2016 Deepwood Drive road improvements completed by the Town have included new catch basins with sumps to remove sediments from stormwater discharge.
6. The Public Works Department schedules the streets in the Amston lake area early in the Spring for cleaning of sand from street and catch basin sumps.
7. The Planning and Zoning Commission added improved design and development standards in their regulations to ensure that new development is compatible with the neighborhood.

2024 Plan of Conservation and Development

Conservation Plan & Policies Section:

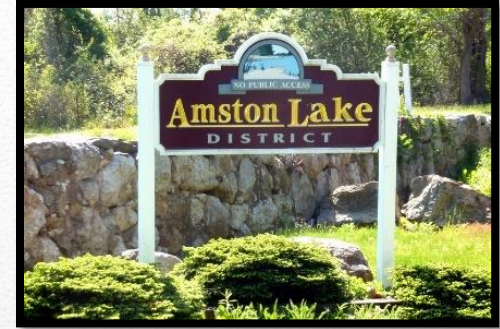
D. Amston Lake



Goal A: Deter further environmental and ecological deterioration of Amston Lake and its drainage area.

Conservation Plan & Policies:

D. Amston Lake



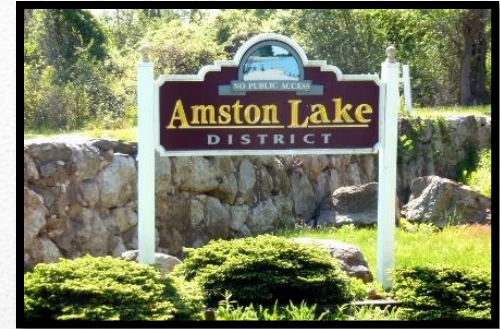
Policies:

1. Continue to implement rigid **site development standards** in the Amston Lake District and the surrounding area;
2. Continue to enforce mandatory bonding for **erosion control measures** and all necessary public improvements associated with new construction;
3. Encourage expeditious **native species re-vegetation** to disturbed areas and require environmentally sensitive practices;

2024 Plan of Conservation and Development

Conservation Plan & Policies Section:

D. Amston Lake

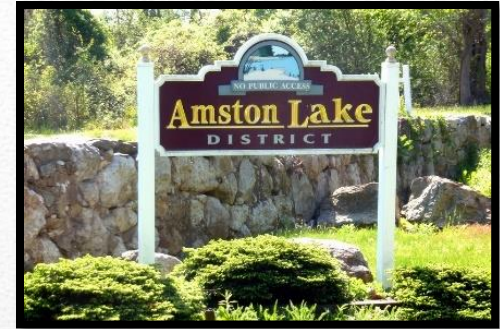


4. The entire area of Amston Lake and its associated watercourses, flood plains and wetlands, are **environmentally sensitive areas**, and shall be protected as future development occurs.
5. Encourage the use of **pervious** surfaces in the Amston Lake basin to minimize storm water runoff and encourage the use of techniques: drywells, rain gardens, and other stormwater management techniques.
6. Encourage a **native vegetation buffer** around the Lake and discourage use of herbicides, pesticides, and fertilizers.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

D. Amston Lake

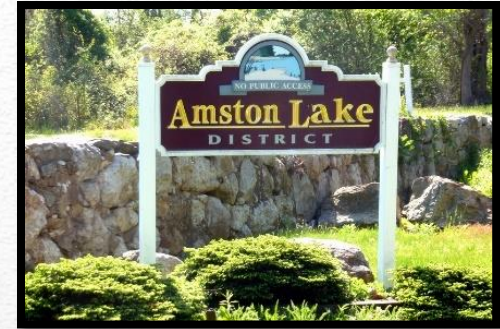


Action Items:

1. The Town should work with the Amston Lake Tax District to inform residents on the negative effects **chemically treated lawns** will have on the Lake water quality.

Conservation Plan & Policies:

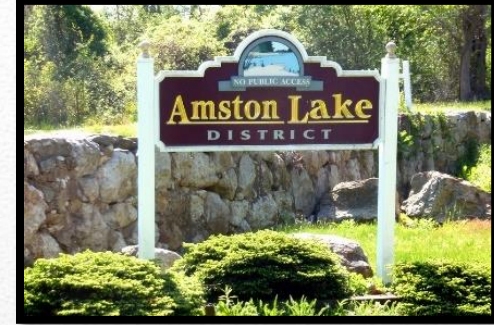
D. Amston Lake



Goal B: Protect the Amston Lake residential community from further over-development and seek to preserve or enhance property values.

Conservation Plan & Policies Section:

D. Amston Lake



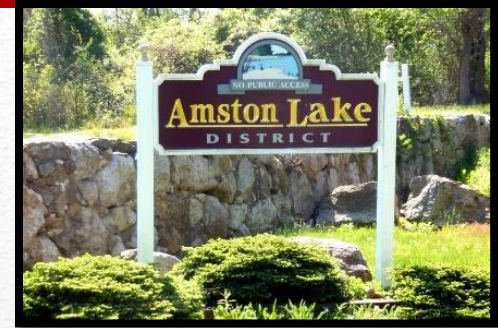
Policies:

1. Permit the **conversion of seasonal dwellings** to year-round only when the minimum standards of the public health code and building codes have been met and that special performance standards are satisfied.
2. Encourage the use of **conservation easements** to help protect the water quality of Amston Lake and area wetlands.
3. Maintain **existing regulations** that will prevent any further reductions in size of substandard lots or increasing the degree of nonconformity of any such lots.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

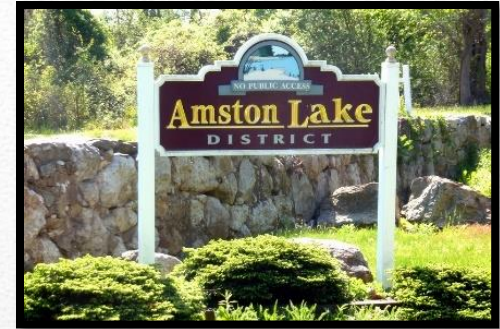
D. Amston Lake



Goal C: Provide for adequate roadways, potable water, and sewer and drainage infrastructure development.

Conservation Plan & Policies:

D. Amston Lake



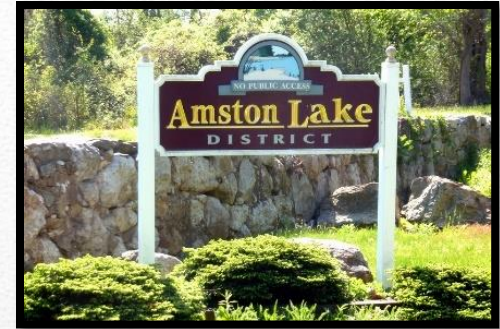
Policies:

1. Ensure that future development will not negatively impact the delivery of **emergency services**.
2. Assist in the establishment of additional, **high quality water supplies** for the Amston Lake district when and where appropriate.
3. Implement **water conservation measures** for new construction or seasonal dwelling conversions to year-round occupancy.
4. When resurfacing roads install **catch basin sumps** for sediment removal.

2024 Plan of Conservation and Development

Conservation Plan & Policies Section:

D. Amston Lake



Action Items:

1. The Town and the Amston Lake Tax District should seek to cooperatively implement the recommendations of the “**Analysis of Stormwater Conveyance Systems Discharging to Amston Lake**” study to protect Amston Lake.
2. Consider the design and construction of a **retention area and water quality basin** along the edge of Bass Lake Road to improve the stormwater discharge to the Lake from this watershed.

Conservation Plan & Policies:

E. Private Open Space and Institutional Lands



Accomplishments since 2014:

1. A complete inventory of all public and private open space properties was accomplished in 2018 by a Parks & Recreation Commission subcommittee.
2. The Town has initiated discussions with Hemlocks and Blackledge Country Club concerning opportunities for public recreation activities on these properties. Also, they have a long-standing relationship with the Hebron Lions who provide soccer fields on their property for town youth leagues. The Town recently purchased St. Peter's ballfield after decades of a cooperative relationship with St. Peter's Church of having town sponsored sports on this privately held land.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

E. Private Open Space and Institutional Lands



3. In 2021 the Planning and Zoning Commission approved an application by Blackledge Country Club to add additional private open space facilities by way of a new practice facility / driving range that will add a new recreational activity on private land to town residents.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

E. Private Open Space and Institutional Lands



Goal: Continue to recognize the importance of critical private open space, institutional and recreation lands within the Town of Hebron and seek to preserve their recreational, open space and environmental values as well as their role in helping to form the rural attributes of the Town.

Conservation Plan & Policies:

E. Private Open Space and Institutional Lands



Policies

1. Build and maintain a **relationship** between the Town and the owners of private institutional lands to maximize benefits to Town residents and these property owners.
2. Investigate all possible **partnerships** between public and private entities to maximize recreational and open space benefits of these parcels of land to Town residents, e.g., conducting recreation and education activities for Town residents on these private lands as an income source for those private landowners.
3. In acknowledging that these lands are a critical component of the Town's open space system, the Town should **work with the owners** of these lands to assist in keeping these properties in their open state.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

E. Private Open Space and Institutional Lands



4. Assist owners of these lands in securing the services of Connecticut River Coastal Conservation District, the CT Resource Conservation & Development's Environmental Review Team program, the CT Department of Energy and Environmental Protection, the Nature Conservancy, CT Audubon Society, the NE Wilderness Trust, and other organizations to provide the necessary **technical expertise** to assist in the stewardship of these properties, to enhance their natural functions.
5. Consider the **purchase of development rights** or **conservation easements** of significant private and institutional lands if necessary to ensure long term preservation of these properties.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

E. Private Open Space and Institutional Lands



6. Encourage owners of private open space to practice **organic management** of land, identify and remove invasive species, and preserve forests and wetlands.

Conservation Plan & Policies:

E. Private Open Space and Institutional Lands



Action Items:

1. Update and maintain an **inventory** of all the privately held open space, institutional and recreational lands in the Town of Hebron as generally shown on the map entitled “Existing Open Space” along with an inventory of acreage, facilities, and special functional or environmental attributes.
2. Advise private and institutional landowners of the benefits of the “**Pollinator Pathway**” initiative and controlling / removal of non-native invasive plants species.

Conservation Plan & Policies:

F. Agriculture and Farming

Accomplishments since 2014:



1. As part of the 2018 update to the Zoning Regulations:
 - farmers markets were made a permitted use on active farms in Hebron.
 - farm stands were permitted on all active farm properties.
2. In 2020, the Commission, researched, drafted, and adopted a comprehensive Agritourism zoning regulation.
3. Subdivision Regulations were amended to require a buffer between new residential lots and active farmland as well as a notice to be placed on subdivision maps as information to new residents.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

F. Agriculture and Farming



4. A Community Garden is being maintained at Burnt Hill Park.
5. Planning staff assisted the property owner in his successful application to the State Farmland Preservation Program that resulted in the permanent preservation of the 200-acre Porter farm.
6. The State of Connecticut purchased a 104.8-acre Fracchia property and has continued to allow farming operations by a local farmer.
7. The Town co-sponsor the Hebron Maple Festival, which showcases working farms, educates guests on farming techniques, tools, and historical significance, and celebrates the agricultural history of the community as well as its importance to the Town's rural character.

2024 Plan of Conservation and Development

Conservation Plan & Policies:



F. Agriculture and Farming

Goal: Protect and promote agriculture and farming as a viable natural resource industry and as a primary example of Hebron's rural landscape.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

F. Agriculture and Farming

Policies:



1. **Protect** valuable productive soils that emphasize agricultural, horticultural and forest uses as defined in Hebron's Natural Resources Inventory.
2. Assist local property owners, interested in the farmland preservation program, in working with the **CT Department of Agriculture** to **purchase the development rights** of local farms or working with the US Department of Agriculture in the purchase of conservation easements.
3. Encourage the **Town** to utilize local open space land acquisition funds to **purchase development rights** from interested farm owners as a supplement to the State program; and the Town should explore the Joint State-Town Farmland Preservation Program

2024 Plan of Conservation and Development

Conservation Plan & Policies:

F. Agriculture and Farming



4. Promote **local farm products** at retail outlets, roadside stands, local fairs, farmers markets, and the Hebron Farmers and Crafters Market.
5. Encourage active **tree farming** as an agricultural use and consider instituting a town wide holiday festival to support this activity.
6. Help support **town festivals** like Farm Day Tours and the Annual Maple Festival.
7. Work with the CT Department of Agriculture and local landowners to encourage the use of **best forest management practices**.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

F. Agriculture and Farming



8. Support participation in programs such as the farmland, forestland and open space assessment program (**Public Act 490**), to maintain agricultural and forest lands in their present conditions

9. Continue to support **community gardening** such as the program at Burnt Hill Park, and expand these opportunities as needed.

10. Continue and expand agricultural uses on Town-owned open space by offering area farmers the opportunity to lease plots to grow produce or grasses for livestock feeding. The use of synthetic fertilizers, pesticides, and herbicides, and “no-till” farming should be encouraged.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

F. Agriculture and Farming



11. Encourage “**Pollinator Pathway**” practices, such as allowing/providing organic areas of native wildflowers, shrubs, and/or trees in such areas as between agricultural fields.
12. Encourage local farmers to partner with the **Windham Region Chamber of Commerce** which can provide business resources to farmers to best manage and grow their businesses.

Conservation Plan & Policies:

F. Agriculture and Farming



Action Items:

1. The Conservation Commission should publicize such programs as **Connecticut FarmLink** (ctfarmlink.org) which help match farmers seeking farmland with available farmland in order to preserve agricultural land and farming.
2. Review and research zoning and subdivision **regulations** and other ordinances or regulations to **reduce impacts** to local farmers and farming operations from new residential development.

2024 Plan of Conservation and Development

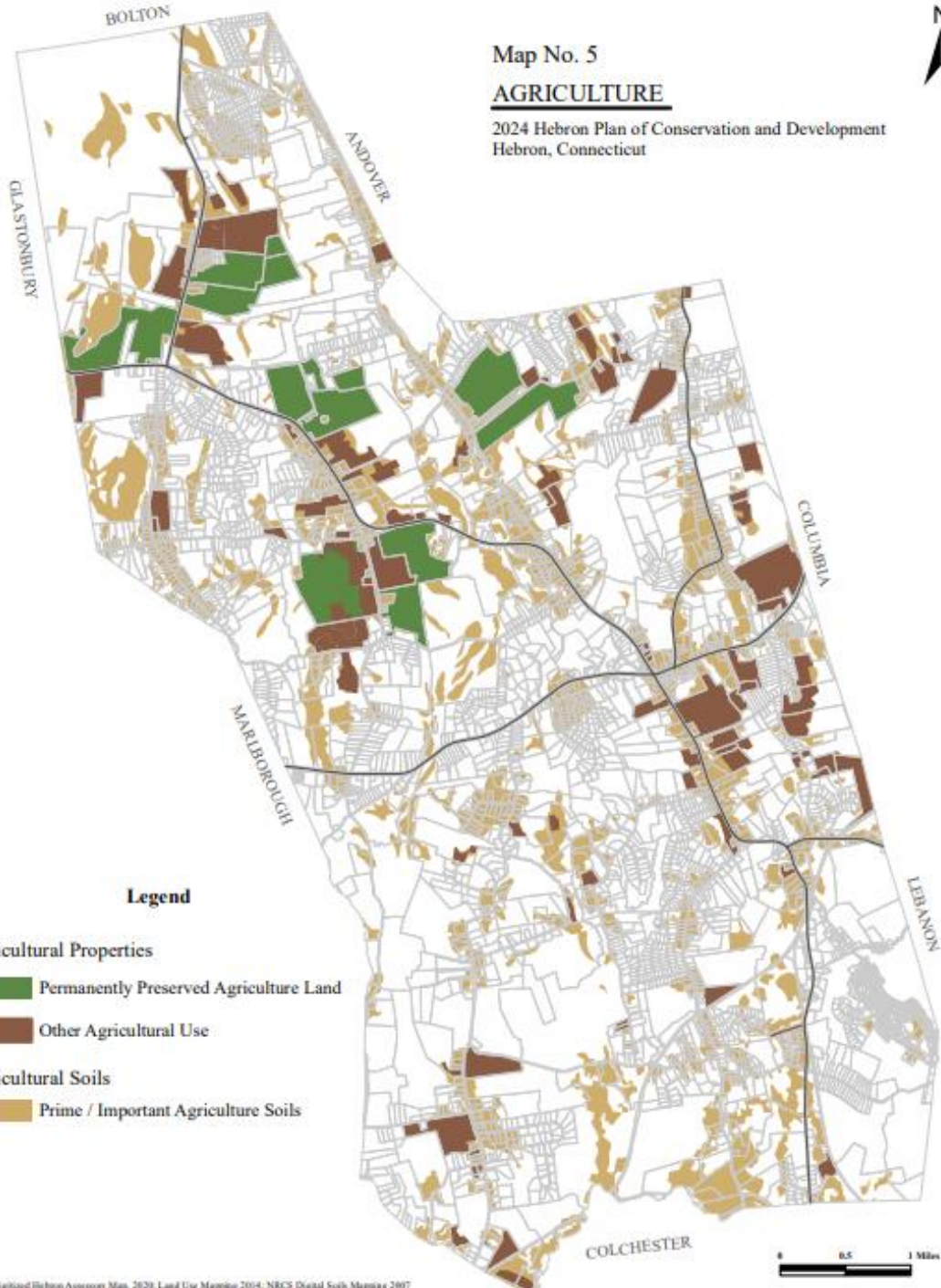
Conservation Plan & Policies:



F. Agriculture and Farming

3. Consider the implementation of CGS-12-81m enabling legislation that provides abatement of up to 50% of property taxes on dairy farms, vegetable farms, nursery farms, fruit orchards and vineyards to assist farm operations and encourage new farming operations.
4. Support efforts to publicize grant assistance programs such as the State Farm Viability Program.
5. Promote Educational activities focusing on agriculture and support school efforts to create their own gardens.

2024 Plan of Conservation and Development



Map No. 5
AGRICULTURE

2024 Hebron Plan of Conservation and Development
 Hebron, Connecticut

BOLTON
 ANDOVER
 GASTONBURGH

MARLBOROUGH

COLUMBIA

LEBANON

COLCHESTER



Legend

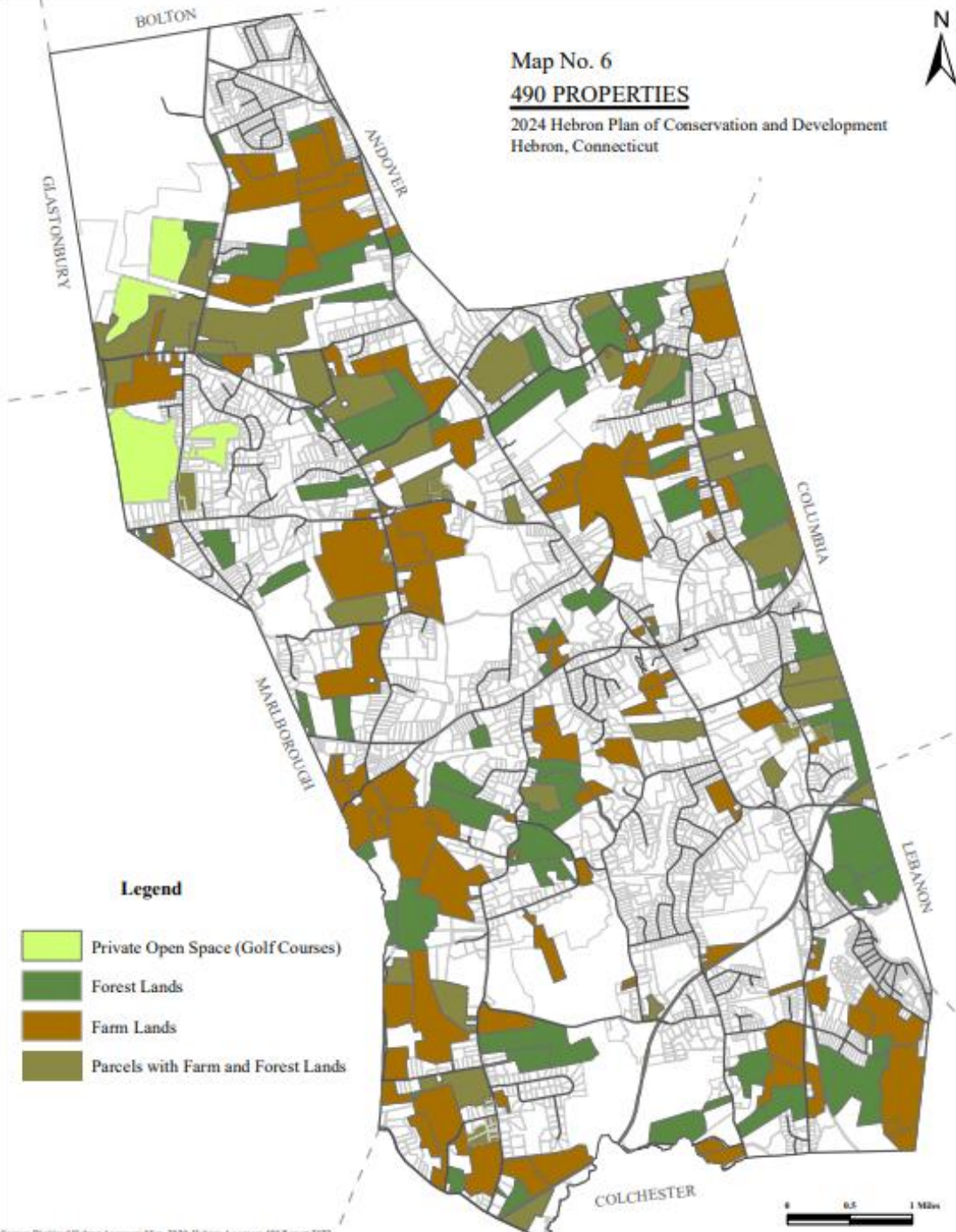
- Agricultural Properties**
- Permanently Preserved Agriculture Land
 - Other Agricultural Use
- Agricultural Soils**
- Prime / Important Agriculture Soils

Source: Digitized Hebron Assessment Map, 2020; Land Use Mapping 2004; NRCS Digital Soils Mapping 2007

Map No. 6

490 PROPERTIES

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut

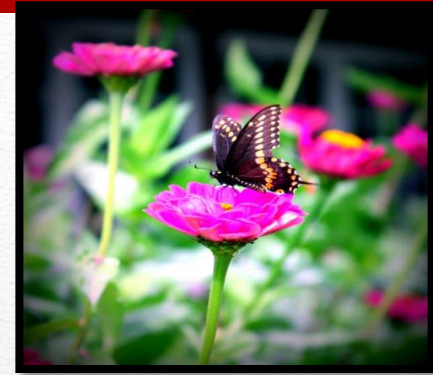


Legend

-  Private Open Space (Golf Courses)
-  Forest Lands
-  Farm Lands
-  Parcels with Farm and Forest Lands

Conservation Plan & Policies:

G. **Wildlife, Plant life and Other Significant Natural Features**



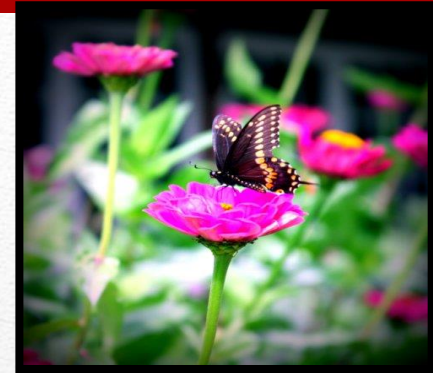
Accomplishments since 2014:

1. The Town has actively pursued open space purchases in greenway corridors that are critical to wildlife habitat and in areas listed as “special concern, threatened, and endangered” by the CT DEEP including the Hibbert (81.9 acres) and Bernstein (215.5 acres) properties.
2. The Parks and Recreation Department employed a forester to inventory open space areas and make recommendations on forest management.
3. The Planning Department continues to make educational materials available on the benefits of native plantings as well as the latest list of non-native invasive plant species and native plantings.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

G. Wildlife, Plant life and Other Significant Natural Features

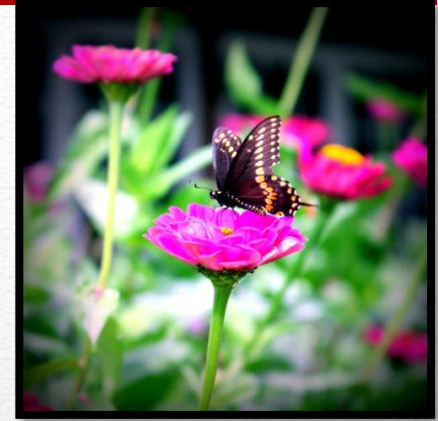


4. The Zoning Regulations were amended in 2020 to require the use of native plant species in all landscape plans.
5. Public outreach regarding identification, removal and adverse impacts of invasive plant species and promotion of the many critical benefits of native plant species commenced with articles published in various publications.
6. A pollinator pathway demonstration garden in Raymond Brook Preserve, featuring native plantings, received National Wildlife Federation Certified Wildlife Habitat recognition.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

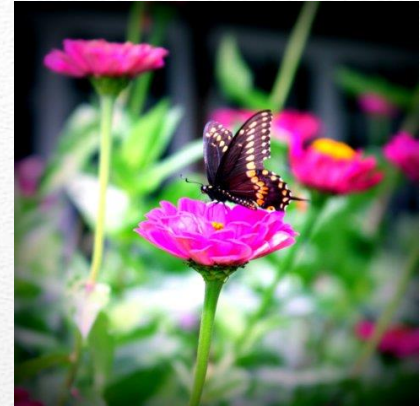
G. Wildlife, Plant life and Other Significant Natural Features



Goal: Preserve natural systems and their functions in order to protect the Hebron's indigenous wildlife and plant life, maximize carbon storage, and preserve and improve the quality of water, air, and soils.

Conservation Plan & Policies:

G. Wildlife, Plant life and Other Significant Natural Features



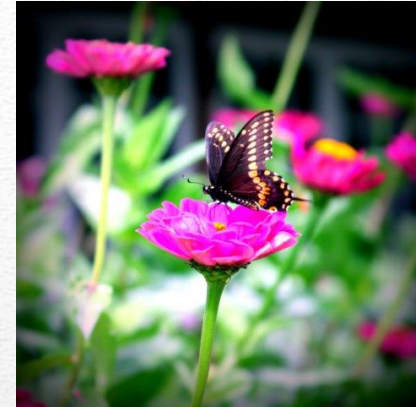
Policies:

1. Preserve large undisturbed and **contiguous blocks of land** to sustain diverse wildlife and plant life habitat.
2. Protect **forested watercourses and hilltops**, which serve as corridors for wildlife movement.
3. Protect **significant habitat areas** such as: edge areas (ecotones) where two or more different habitat types meet; and, areas having a mixed plant growth, particularly those having a vertical diversity of plant material (such as large canopy trees, understory trees, shrub growth, and emergent vegetation).

2024 Plan of Conservation and Development

Conservation Plan & Policies:

G. **Wildlife, Plant life and Other Significant Natural Features**

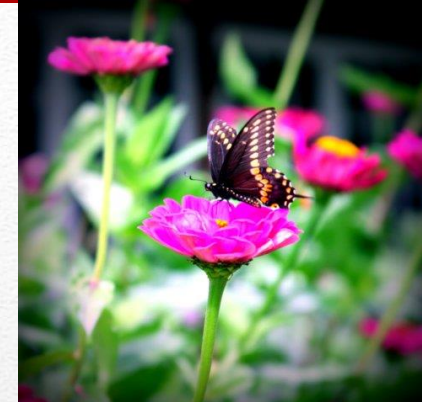


4. Preserve continuous **habitat strips** within new developments that will promote wildlife movement.
5. Support **cluster design** to conserve important habitat areas.
6. Identify, manage, and protect all wildlife and plant life areas that are listed as "**special concern, threatened, and endangered**" by the Connecticut Department of Energy and Environmental Protection.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

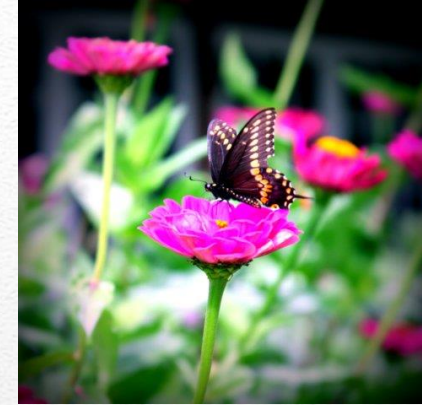
G. **Wildlife, Plant life and Other Significant Natural Features**



7. Support and protect **trail corridors** that will highlight wildlife areas and raise understanding of natural systems.
8. Continue to encourage the use of **native vegetative plantings** in future land use applications.
9. Continue to purchase or **acquire open space** land to protect wildlife corridors and areas of unique and native plant life.

Conservation Plan & Policies:

G. **Wildlife, Plant life and Other Significant Natural Features**



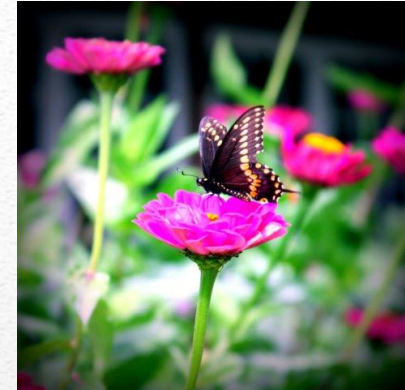
Action Items:

1. Adopt measures limiting and **regulating clear-cutting** of forestland.
2. **Inventory** natural areas including specific field investigations to identify and record wildlife and plant life communities particularly those in wetland areas. Seek grant funds to conduct an update or enhancement to the Natural Resources Inventory Report, dated September 1989

Conservation Plan & Policies:

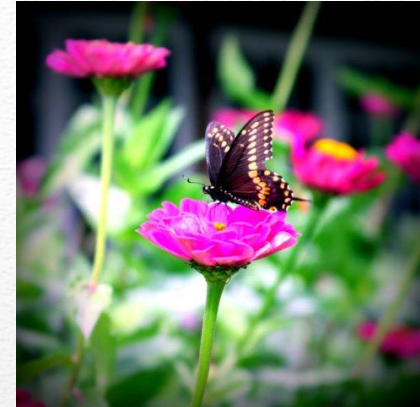
G. **Wildlife, Plant life and Other Significant Natural Features**

3. Work with **conservation organizations** such as the Northeast Wilderness Trust, Harvard Forest, the Highstead Foundation, Connecticut Audubon, and The Nature Conservancy to develop protection measures for habitat areas and their species.
4. Conduct **education workshops** on the identification and importance of wildlife habitat and the community ecosystem.
5. Encourage the implementation of best **stewardship** practices, including reserving intact forest to become Old Growth within Town-owned open space properties. Contact forest ecologists or others experienced in forest ecology to provide recommendations to ensure a healthy functioning ecosystem.



Conservation Plan & Policies:

G. **Wildlife, Plant life and Other Significant Natural Features**



6. Contact others with scientific expertise to provide educational materials and recommendations on **best practices to ensure healthy, diverse, properly functioning forests** on private land.
7. Provide public outreach on the benefits of **native vegetative plantings** and make available the latest list of non-native invasive plant species and their negative consequences.
8. Consider outreach to solicit **public reporting** of endangered and special concern species to town or directly to the State DEEP.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

G. **Wildlife, Plant life and Other Significant Natural Features**

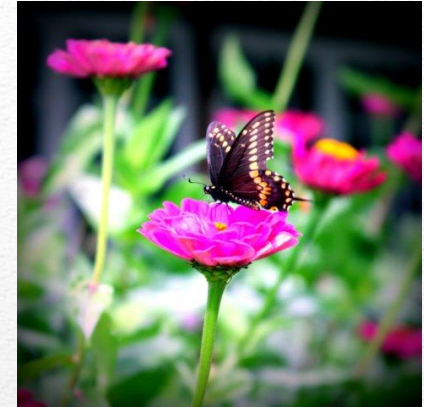


9. Encourage participation in maintenance to keep natural ecosystems intact. For example, guided trail hikes serving to educate about the identification and control of non-native invasive plants, and a “Friends of the Forest” or “Forest Rangers” group with the aim to identify and safely remove non-native invasive species from town open spaces
10. Support **Pollinator Pathway** native plant garden initiatives throughout Town including at municipal facilities and Town open spaces.
11. **Acquire open space and conservation easements** to protect intact forest for its carbon storage value, its capacity for future carbon sequestration and storage, as well as its performance of additional multiple ecosystem services.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

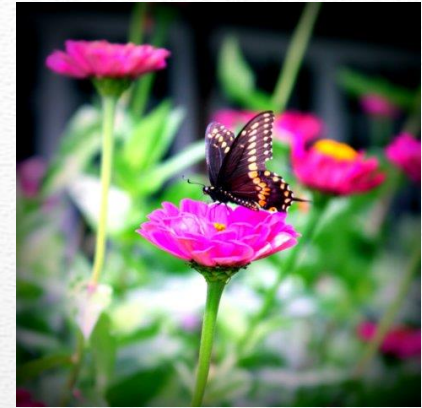
G. Wildlife, Plant life and Other Significant Natural Features



Goal: Provide conservation measures for significant natural features, unique terrain, landforms, and vegetation that are worthy of preservation for present and future generations' health, safety, and aesthetic well-being.

Conservation Plan & Policies:

G. Wildlife, Plant life and Other Significant Natural Features

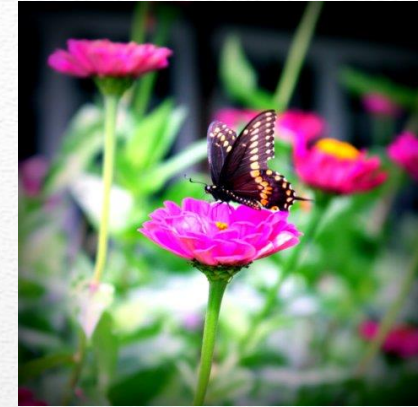


Policies:

1. Identify and protect **large growth and specimen trees** and patches of forest left undisturbed for one hundred years or more.
2. Provide **innovative subdivision and land development techniques** to ensure the conservation or preservation of Hebron's natural features.
3. Identify and protect low-lying **flood plain** areas.
4. Identify and protect **archeological sites**.

2024 Plan of Conservation and Development

Conservation Plan & Policies:



G. Wildlife, Plant life and Other Significant Natural Features

Action Items:

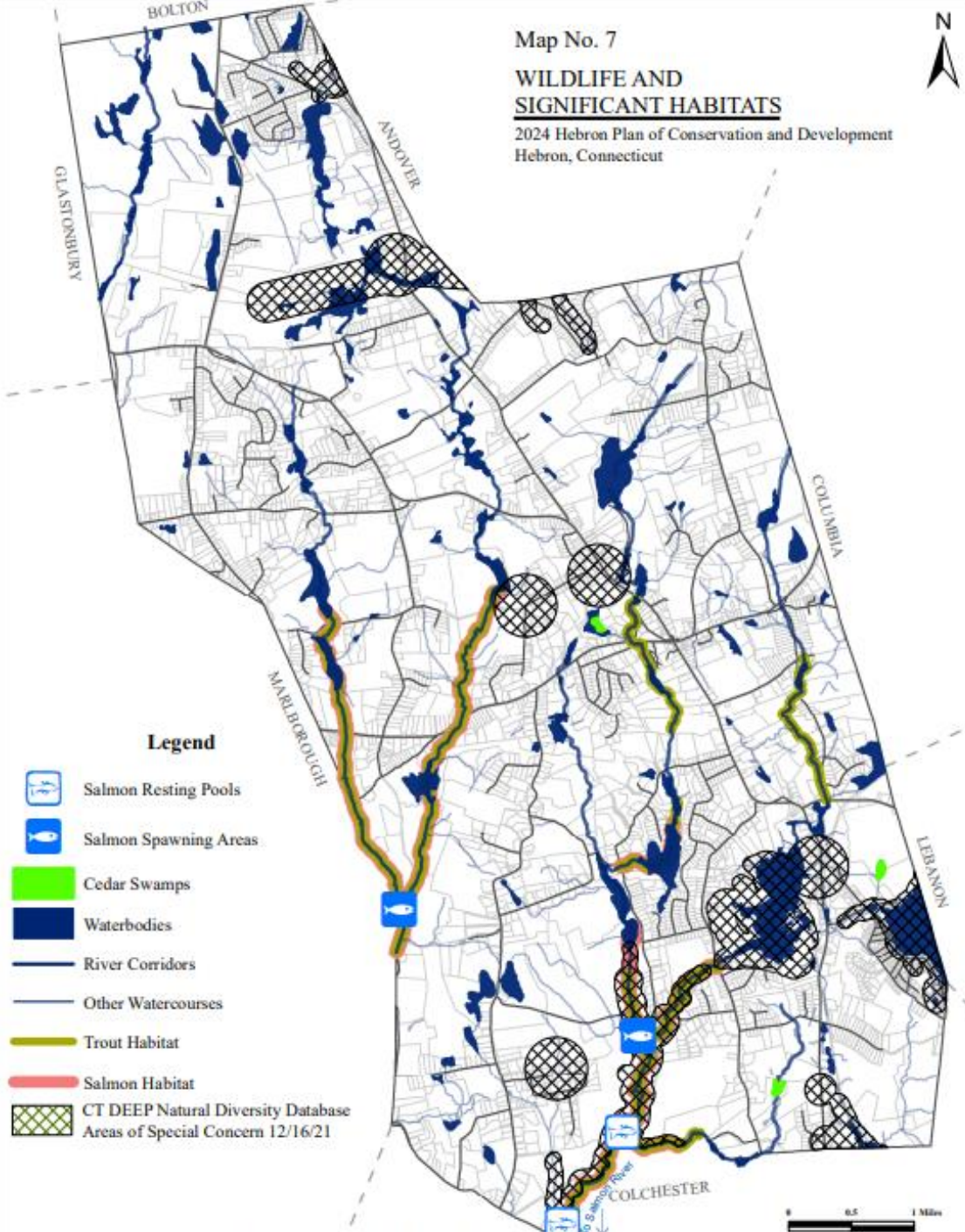
1. **Inventory** and protect unique geological landforms: vernal pools, springs, drumlins, glacial erratics, boulder trains, caves, cliffs, and ravines.
2. Make provisions in Town regulations to require **studies of potential archeological sites** to preserve sites of significant archeological interest, particularly in any significant proposed developments.
3. Consider an on-going outreach endeavor to solicit public **reporting of Natural Significant Features** to Town staff (Town Planner, Wetlands Agent and Director of Parks) and Conservation Commission.

2024 Plan of Conservation and Development

Map No. 7

**WILDLIFE AND
SIGNIFICANT HABITATS**

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut

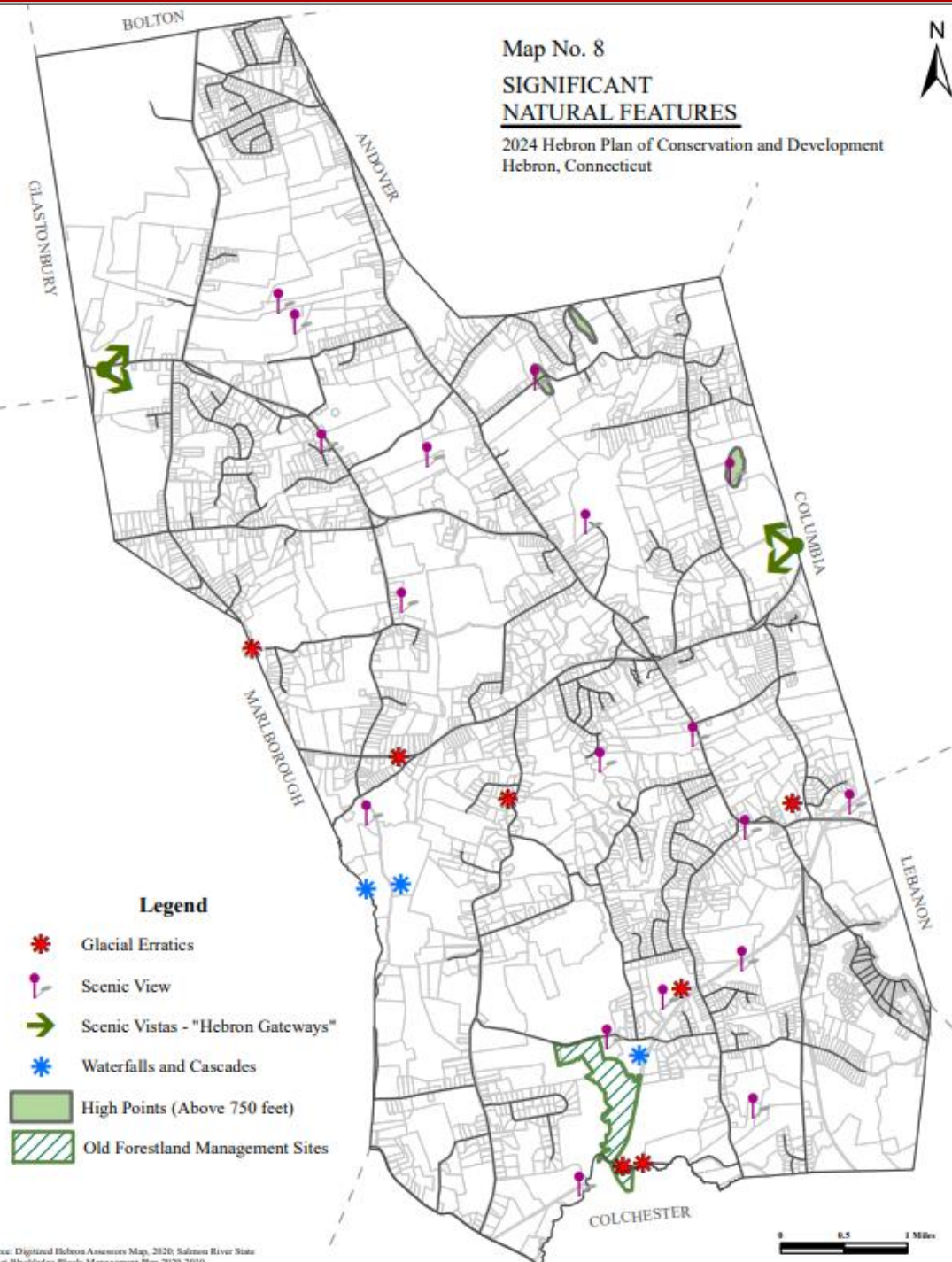


Legend







-  Salmon Resting Pools
-  Salmon Spawning Areas
-  Cedar Swamps
-  Waterbodies
-  River Corridors
-  Other Watercourses
-  Trout Habitat
-  Salmon Habitat
-  CT DEEP Natural Diversity Database Areas of Special Concern 12/16/21

Map No. 8
**SIGNIFICANT
NATURAL FEATURES**

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Legend

-  Glacial Erratics
-  Scenic View
-  Scenic Vistas - "Hebron Gateways"
-  Waterfalls and Cascades
-  High Points (Above 750 feet)
-  Old Forestland Management Sites

Source: Digitized Hebron Assessor Map, 2020; Salmon River State Forest Blackledge Block Management Plan 2028-2050



Conservation Plan & Policies:

H. Scenic Vistas and Streetscape

Accomplishments since 2014:

1. The newly constructed trails through Raymond Brook Preserve park were carefully designed to be located around the edge of agricultural fields and along existing stone walls to provide scenic views to trail users.
2. The Planning and Zoning Commission proposed the funding of a tree replanting program in the 2020-2021 budget. Town did accomplish some tree replacement planting in front of Town Hall and on the Hebron Green in 2019.



2024 Plan of Conservation and Development

Conservation Plan & Policies:



H. Scenic Vistas and Streetscape

Goal: To protect the aesthetic, natural, historic, and cultural viewpoints and road attributes that provide opportunities as scenic vistas and rural streetscapes.

Conservation Plan & Policies:



H. Scenic Vistas and Streetscape

Policies:

1. **Restrict clearing** and development of hilltops and other prominent high points in Hebron.
2. Protect natural and **managed clearings along highland areas** for viewpoint access.
3. **Restrict obstacles** from being introduced in existing viewpoint areas.

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



4. Recognize that **large lowland wetland areas** (Raymond Brook Marsh and abandoned railroad rights-of-way) provide unique viewpoints that should be protected.
5. Prioritize the **protection of identified scenic areas** and viewpoints during the design and review of new developments.
6. Take all possible measures to ensure that future **tree trimming** along streets is limited to the highest extent possible taking into consideration legitimate public safety concerns.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



Action Items:

1. **Inventory** and map all significant high points, scenic vistas, unique rural streetscapes, and other significant natural features such as cliffs, ravines, caves, etc.
2. Establish and maintain a **trail network** in appropriate locations taking into consideration available viewpoints along trailsides.

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



Accomplishments since 2014:

1. The 2018 update to Zoning Regulations allowed Conservation Subdivisions by right providing design flexibility to preserve important natural features.
2. Establishments of Conservation Easements along existing roadways for the purpose of preserving existing rural streetscapes is standard practice with all new residential subdivisions.
3. Research was conducted, and standards were adopted for rural road subdivisions to allow more design flexibility that will serve to better preserve existing conditions.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



Goal: To ensure that rural streetscapes are recognized and that their preservation is made a factor when land development or street improvement and tree removal decisions are made.

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



Policies:

1. Through innovative subdivision and zoning regulations, **discourage strip development** along existing Town roads to minimize curb cuts, control visual impact, and reduce interruptions to traffic
2. Consider **conservation easements** along Town roads to preserve the existing vegetation, stonewalls, and features of rural streetscapes.
3. The **natural and historical features / character** of the Town's rural streetscapes should be considered as a major factor during the Town's design for improvements to existing roads.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



4. **Minimize lighting** along Town residential streets, within subdivisions, and within commercial properties.
5. Identify Town roads where **Scenic Road designations** would be appropriate and work to support and encourage their designation.
6. Recognize the native trees species are indeed providing a **pollinator pathway** and are vital to native species survival.
7. Take measures to ensure that future **tree trimming** along streets is limited to the extent possible, taking into consideration legitimate public safety concerns.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



Action Items:

1. Initiate an "**Adopt A Road**" program within the Town of Hebron, to encourage volunteer efforts in maintaining these important scenic roads.
2. Establish a **street tree replanting** policy and identify Town roads where street trees are deficient, or when tree removal has occurred, to maintain a long-term vision of scenic roadways.
3. Seek **grant funding opportunities** to fund street tree replacement / establishment along Town roads throughout the Town.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

H. Scenic Vistas and Streetscape



4. Identify **publications** on the most appropriate native street tree pollinator species to consider when street trees are required by regulation or otherwise desired and incorporate such tree species into the Town's Design Guidelines.
5. Identify and **remove invasive plant species** considered highly detrimental to street tree survival along Town roads.

Conservation Plan & Policies:

I. Historical Heritage

Accomplishments since 2014:

1. A 2017 amendment to the Hebron Zoning Regulations incorporated the “Village District” provisions of the CT General Statutes to the entire Hebron Green District as one method of protecting this unique area.
2. The Town has continued to fund restoration efforts at the Peters House through grants from the State Historic Preservation Office (SHPO) and the Town’s Capital Improvements Program funds. This is a Town-owned, architecturally and culturally significant, 18th century property intended to be used for town and community activities upon completion of its renovations



2024 Plan of Conservation and Development

Conservation Plan & Policies:

I. Historical Heritage



3. The Town utilized a grant through the State Historic Preservation Office (SHPO) to conduct an archeological dig at the Peters House and in 2019 an “Archaeology Day” was held to share the results with the public.
4. The Hebron Historical Society assisted in the research and publication of “Lost Mill Sites in Hebron, Connecticut” (December 15, 2016) by Richard N. Symonds, Jr., identifying historic mill sites in Hebron.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

I. Historical Heritage

Goal: Protect and preserve Hebron's rich, historic heritage for the education, enrichment and enjoyment of all citizens and promote the environmental, economic and cultural benefits of historic preservation.



Conservation Plan & Policies:

I. Historical Heritage

Policies:



1. Facilitate the **designation of historic districts and historic properties** where appropriate to assure preservation of historic assets.
2. Review and amend zoning and subdivision **regulations** to require new development to **protect and complement historic resources** and give full consideration to protecting and maintaining historic resources.
3. Encourage **identification / preservation** of historic schoolhouses, historic buildings, and any other historic sites and seek to protect them from demolition, decay or inappropriate modification.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

I. Historical Heritage



4. Encourage **preservation / maintenance** of historic buildings, landscaping, and cemeteries by public / private landowners, with emphasis on the buildings near the Hebron Green.
5. Support restoration and recreational use of **historic rail lines**.
6. The Hebron Historic Properties Commission and the Hebron Historical Society, with the assistance of the Town, should develop and conduct **workshops** to encourage residents and commercial entities to research and further inventory unique historical aspects of their properties and promote educational programs to keep Hebron's legacy alive for all its citizens.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

I. Historical Heritage Policies:



7. Continue to support the restoration and public use of the **Peters House** and encourage use by private groups, Town sponsored events, community uses, and educational activities.
8. Promote the establishment of an annual **Hebron Historical House / Sites Tour** to increase interest in preserving these historic sites.
9. On behalf of the Town and Historic Properties Commission, continue to apply for available **historic preservation and restoration grants** and partner, with not-for-profit organizations to apply for grants.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

I. Historical Heritage

Action Item:

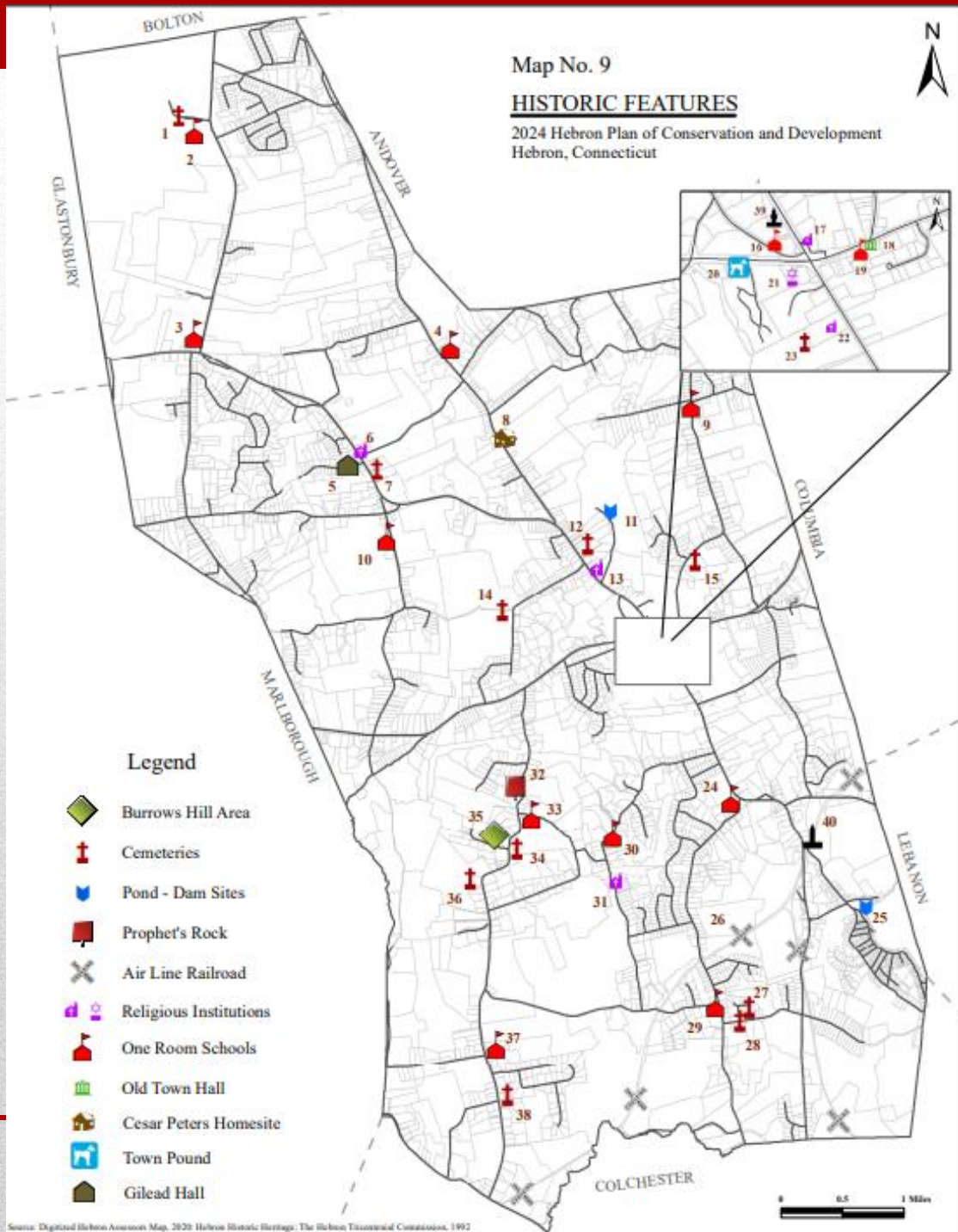
1. To provide an historic prospective and assist in evaluating historic attributes of potential and already acquired open space land purchases, consider adding a **member of the Historic Properties Commission** to the Hebron Open Space Land Acquisition Committee.



Map No. 9

HISTORIC FEATURES

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Legend

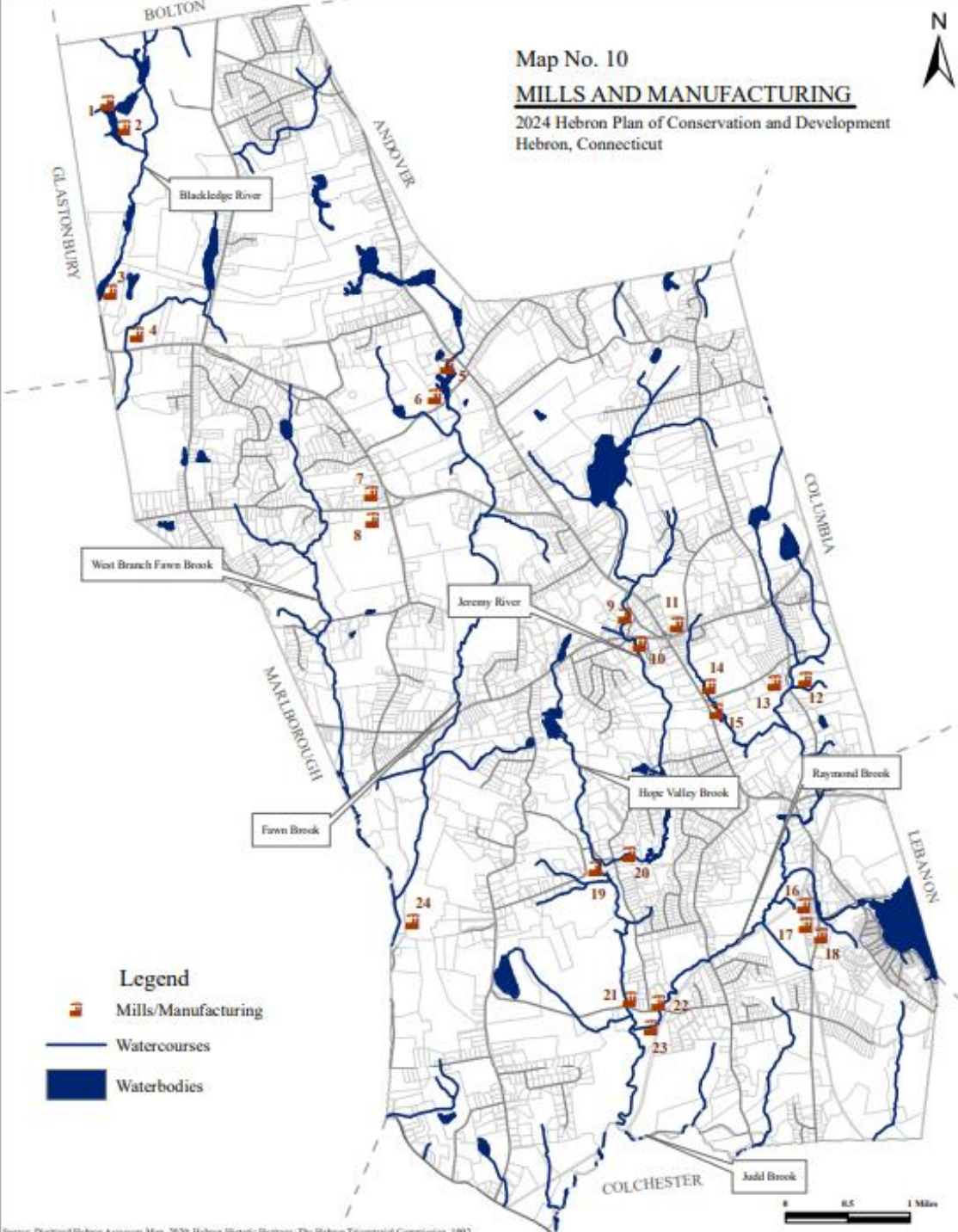
-  Burrows Hill Area
-  Cemeteries
-  Pond - Dam Sites
-  Prophet's Rock
-  Air Line Railroad
-  Religious Institutions
-  One Room Schools
-  Old Town Hall
-  Cesar Peters Homesite
-  Town Pound
-  Gilead Hall

Source: Digitized Hebron Assessor Map, 2020; Hebron Historic Settings; The Hebron Tithestral Commission, 1992

Map No. 10

MILLS AND MANUFACTURING

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Legend

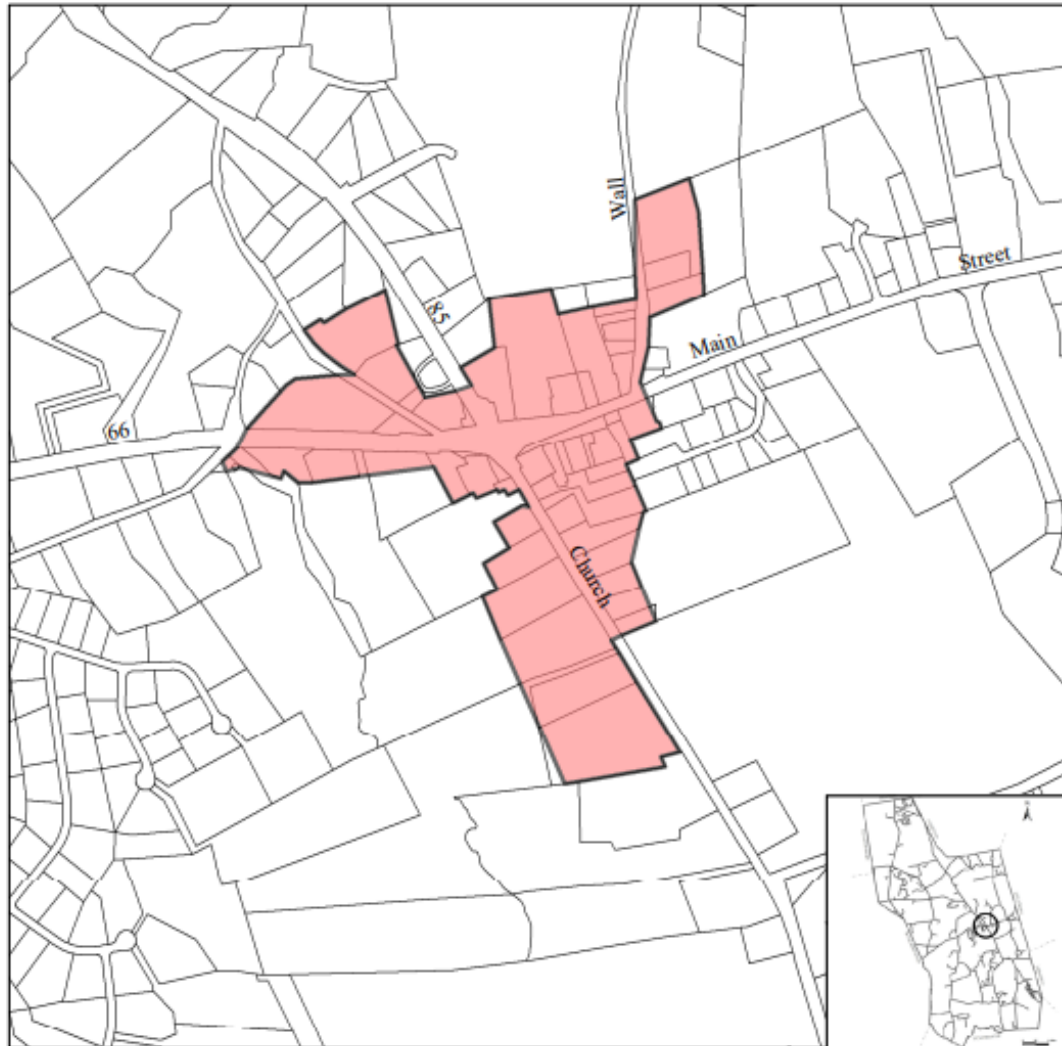
-  Mills/Manufacturing
-  Watercourses
-  Waterbodies

Source: Digitized Hebron Assessor Map, 2020 Hebron Historic Heritage, The Hebron Bicentennial Commission, 1992

Map No. 11

**HEBRON CENTER
NATIONAL REGISTER HISTORIC DISTRICT**

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Conservation Plan & Policies:

J. Recreation

Accomplishments since 2014:

1. The new Town Center Project and the Parks and Recreation department is coordinating on planning Town Center activities.
2. In 2021 the Economic Development Commission (EDC) created marketing brochures promoting Hebron's open space and recreational amenities.
3. Town received a grant from the CT Recreational Trails Program to construct Phase 1 trails at Church Street Park and two other grants have been received (2018 & 2019) to construct Phase 2 & Phase 3 trails. Both Phase 1 and Phase 2 trails have been constructed.



2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



4. In 2018 a new parking area was constructed off Church Street for Raymond Brook Preserve park. And, in 2021 another parking area was built off Millstream Road frontage as part of the Phase 2 trails.

5. The Parks and Recreation Commission completed work on a revised Parks Master Plan (2018).

6. Parks and Recreation Director has contacted a forester to provide recommendation on forest management for selected town-owned parcels and the report was received in 2020.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



7. The Planning and Zoning Commission has held a discussion with the Parks and Recreation Director on identifying and controlling invasive plants on Town-owned properties.

8. In 2021, the Parks and Recreation Commission approved a Girl Scout Gold Award project whose goals are to mark existing trails, identify unique features, publicize certain town open spaces, and assist in the aggregation of community "Trail Rangers" to voluntarily identify and remove invasive species and report any trail hazards to the Director of Parks and Recreation.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



9. A regional twelve-town Air Line Trail (ALT) State Park Trail Master Plan is being developed by the CT RC &D to inventory adjacent lands along the ALT, promote the trail system, provide for common amenities (informational kiosks, signage), seek connections to other trails and to town centers among other related endeavors, all to enhance economic opportunities of towns along the ALT.

10. Town Staff developed a Town Center Trail Map brochure that is featured on the Parks website, and other Town open space trails are currently being mapped for future publication on the Parks website.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation

Goal A: Offer and promote recreation and leisure services to a broad base of the Hebron population and to visitors.



Conservation Plan & Policies:

J. Recreation

Policies:

1. **Publicize activities** and facilities through the parks and recreation Department's seasonal publication, social media, news organizations, user groups and include maps on Town website.
2. Continue to **pursue grant funding** to maintain, map, and extend current trail systems and enhance park facilities.
3. Use Open Space areas to **promote outdoor educational opportunities** for Town and area residents and particularly for Hebron students.



Conservation Plan & Policies:

J. Recreation

Action Items:

1. **Obtain public opinion** on future recreational needs, desires, improvements, and programs.
2. Work with the Economic Development Commission in marketing the Town's recreational opportunities to enhance local **economic development**, and bringing recreational activities (races, Farmer's Market, and Holiday Festival) to the Town center.
3. Work with **The Town Center Project** and other non-profit groups to expand and improve programs and facilities.



2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



4. Rebuild/upgrade the **Skate Park** and build a **Pickleball Courts** at Veteran's Memorial Park.
5. Construct a **Disc Golf Course** and install a **Playscape** at Burnt Hill Park
6. Work with interested **volunteer groups**, i.e., Trail Rangers or Friends of the Forest, to promote and map open spaces and lead trail hikes, assist the Parks and Recreation staff with trail maintenance, and additional volunteer projects.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



7. Consider **sponsoring additional trail hike events** such as National Hike Day in November and conduct guided hikes on open space trails led by the Parks and Recreation and/or Conservation Commission in conjunction with volunteer organizations.
8. Encourage or establish a **Hebron Hiking Group**
9. **Publicize** on the town website all town open spaces with maps, property features, available parking, address location and directions.
10. Promote passive recreational assets in **Hebron Views** and more extensively on **social media** platforms.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



11. Work with the CTtrails.org, cttrailfinder.com, or similar entities to **promote Hebron trails statewide**. They provide a state sponsored interactive online map that promotes compatible local business and public health benefits that passive recreational activities afford.
12. Establish **kiosks** at town open spaces with pertinent site features and amenities
13. **Enhance Air Line Trail** experience by pursuing state funding for such items as benches, bicycle parking racks, historic site markers.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



Goal B: Make all parks, open space areas, and recreation facilities attractive, safe, accessible, and easy to maintain.

Conservation Plan & Policies:

J. Recreation

Policies:



1. Continue and expand usage of **low impact field maintenance programs** as new products and methods become available.
2. **Maintain** existing sports facilities to maximize their use, extend their life, and avoid injuries to users.
3. **Increase security measures** to limit costly vandalism.

Conservation Plan & Policies:

J. Recreation

Action Items:

1. Establish **parking facilities** at certain Town-owned properties to improve accessibility and safe entry into these programs.
2. Utilize **Master Plan** to guide the development of each Town Park, facility, and program. Collaborate with other interested agencies in the development of additional passive recreational facilities.
3. **Utilize volunteer groups** to mark existing trails / trail heads and report hazardous conditions to the Director of Parks



Conservation Plan & Policies:

J. Recreation



4. Consider “**Adopt a Trail**” initiative for preserving and making minor improvements to existing trail under the guidance of the Director of Parks.
5. **Encourage farming** on town open space compatible with open space goals of water/ soil quality preservation and pollinator sustainability.
6. **Provide signage** identifying pollinator meadows as pollinator habitat; and, provide other signs on town trails and open spaces and provide a history of the trail or open space.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation



Goal C: Provide proper stewardship over Town Open Space to provide passive and active recreational activities, to sustain natural features, and to protect the environmental characteristics of these lands.

Conservation Plan & Policies:

J. Recreation

Policies:



1. Identify and **control invasive plants** as listed by the CT DEEP on Town-owned properties and use native plantings for new landscape projects .
2. **Protect watersheds/watercourses** including native vegetation along riparian corridors.
3. Encourage **farming** on Town properties to maintain land in an open condition, and to maintain and promote the agricultural character of the community - compatible with goals of preserving soil/water quality and sustaining pollinators

2024 Plan of Conservation and Development

Conservation Plan & Policies:

J. Recreation

Action Items:

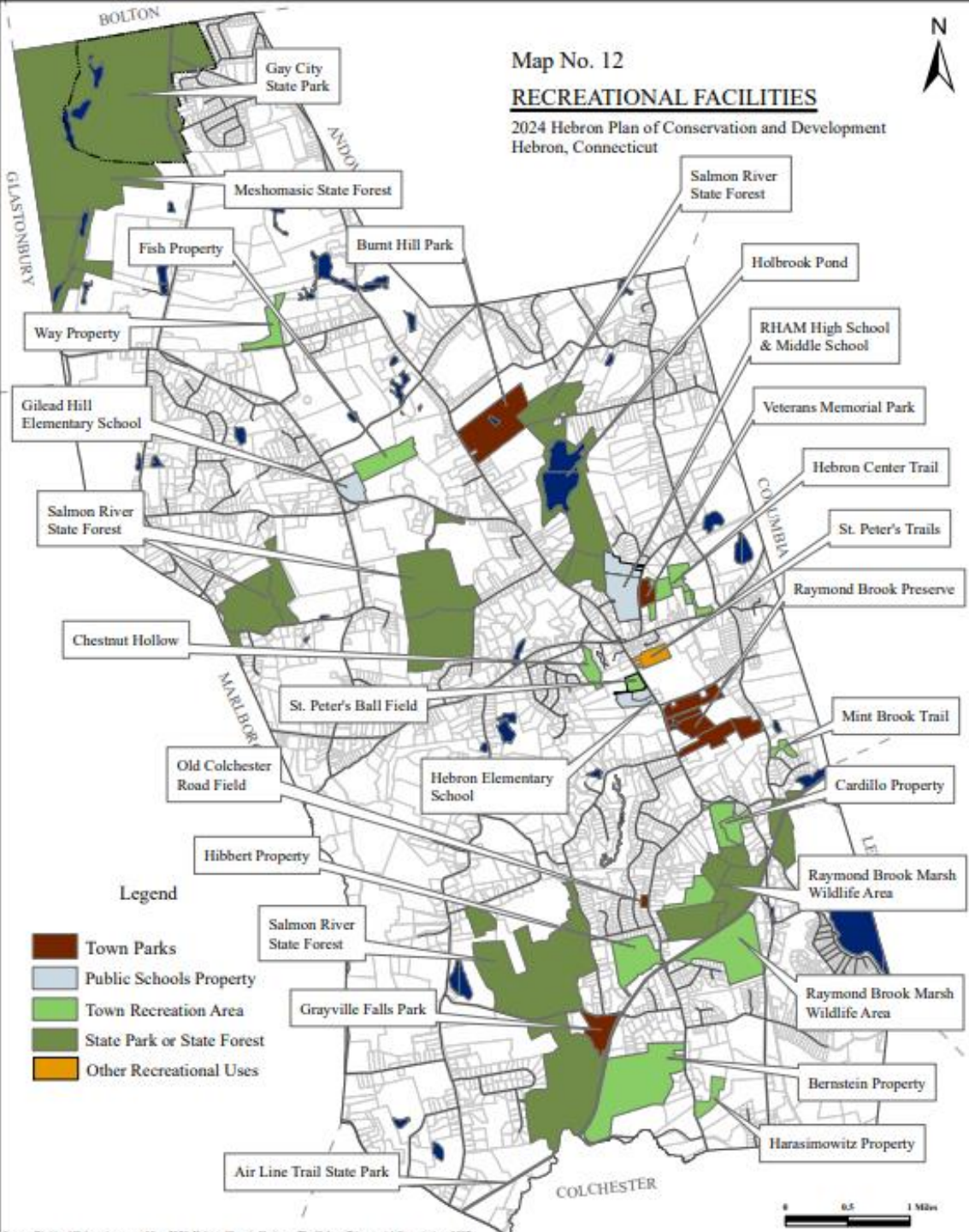
1. Organize a **volunteer group** to identify and manually remove invasive species on parks and town open spaces and to lead trail hikes.
2. To **provide a variety of habitats** for plants and animals, maintain some open space fields as pollinator meadows.
3. Identify and **control non-native invasive plants** as listed by the CT DEEP on Town-owned properties. Preserve maximum native vegetation to prevent non-native plant invasion and spread. As necessary, consult a land practitioner familiar with Natural Area Stewardship.



Map No. 12

RECREATIONAL FACILITIES

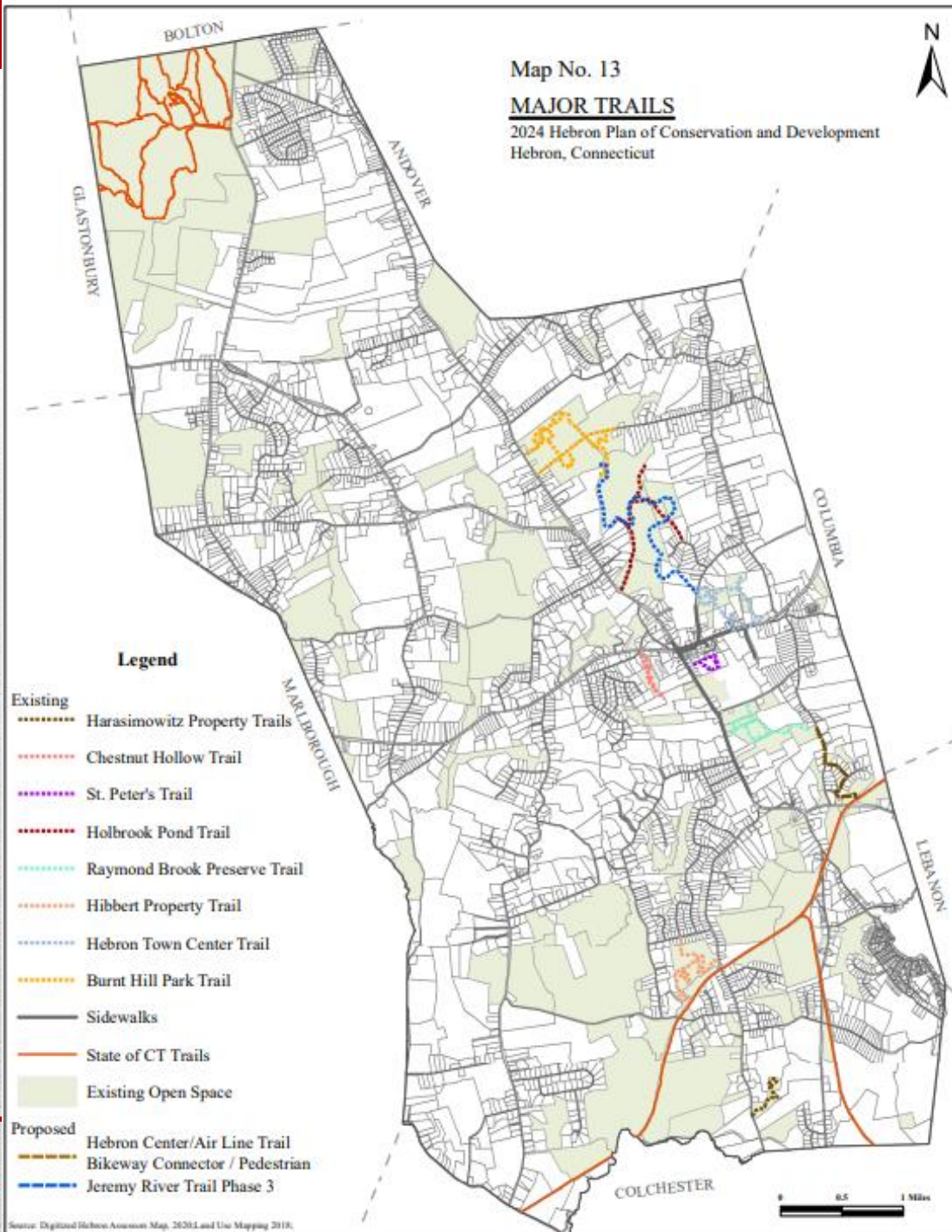
2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Map No. 13

MAJOR TRAILS

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Legend

Existing

- Harasimowitz Property Trails
- Chestnut Hollow Trail
- St. Peter's Trail
- Holbrook Pond Trail
- Raymond Brook Preserve Trail
- Hibbert Property Trail
- Hebron Town Center Trail
- Burnt Hill Park Trail
- Sidewalks
- State of CT Trails
- Existing Open Space

Proposed

- Hebron Center/Air Line Trail
- Bikeway Connector / Pedestrian
- Jeremy River Trail Phase 3

Conservation Plan & Policies:

K. Open Space

Accomplishments since 2014:

1. The Town's Open Space and Land Acquisition Committee continues to conduct studies of land parcels using the "Future Open Space Map" of the 2014 Plan as a guide. Parcel attributes were documented to ascertain the most important parcels to preserve. Such properties deemed "high priority parcels" took into consideration the protection of natural resources, the preservation of farmland soils, and the potential for recreational activities.
2. The OSLAC has published several public outreach documents relative to the Town's open space purchases and preservation methods. In addition, the Committee has contacted priority parcel landowners to communicate the availability of the Committee in providing assistance in future preservation consideration.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

3. As a result of the Town's open space acquisition program, approximately 940 acres of Town open space have been purchased or protected with the financial assistance of the Open Space Land Acquisition Fund and State DEEP grants. Open Space purchases have been guided by the Future Open Space map in this Plan and are generally intended to create continuous Greenway corridors along major stream corridors. In addition, significant areas of farmland and property along the Air Line Trail have been protected with the use of open space funding.

Conservation Plan & Policies:

K. Open Space

4. Open Space acquisitions since 2014 have included the following:
 - 2015 purchase of 19.4-acre Leary property on Millstream Road adding to the 106-acre Raymond Brook Preserve.
 - 2016 purchase of the 9.4 -acre Daly Road open space.
 - 2017 purchase of the 10-acre Serra property on Grayville Road adjacent to the Salmon River State Forest.
 - 2018 acquisition of the 47.5-acre Fish open space behind Gilead Hill School and adjacent to Fawn Brook.
 - 2018 acceptance of a donation of the 20.2-acre properties of the Alpert, et.al. families along the Colchester Spur of the Air Line Trail.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

- 2018 purchase of the 82-acre Hibbert property located along Old Colchester Road and having frontage on the Air Line Trail and including both banks of Raymond Brook.
- 2019 purchase of 35-acre of the Horton property north of Kinney Road for open space.
- 2020 acquisition of the 8-acre St. Peter's Field from St. Peter's Church to preserve an existing ballfield for youth sports.
- 2022 acquisition of the 215-acre Bernstein property along Old Colchester Road, the Air Line Trail and Judd Brook.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

5. The State of Connecticut purchased two large parcels of the Fracchia property containing 280 acres, the larger parcel being directly adjacent to Gay City State Park.
6. The State of Connecticut purchased development rights under the Agricultural Preservation Program over the 200-acre Porter Farm permanently preserving this land as farmland.
7. The Town continues to operate the 490 Program to encourage owners of environmentally sensitive properties to maintain their land in an undeveloped state.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

8. The Planning and Development budget contains \$5,000 each year as the Town financial contribution to the Salmon River Watershed Partnership program.
9. The 2018 update to the Zoning Regulations makes Conservation Subdivisions allowed by right which permits clustered lots resulting in more open space than conventional subdivisions.
10. The Town has continually supported the Open Space Land Acquisition Fund by annual contributions from the General Fund.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

11. An Environmental Review Team study is underway to identify and assess the vital natural and historic assets of the Hibbert and Bernstein open space properties. This was requested in 2021 by the Hebron Conservation Commission and is being conducted by the Connecticut Resource Conservation and Development (CTRC&D).

Conservation Plan & Policies:

K. Open Space

Goal: Maintain the open, rural character of Hebron by preserving the existing systems of natural resources, natural features and significant ecological systems. These open space resources include forests, fields, prime farmland soils, meadows, marshes, swamps, wetland soils, floodplains areas, watercourses and bodies of water.



West Branch Fawn Brook

Conservation Plan & Policies:

K. Open Space

Policies:

1. **Land acquisitions should consider:** extension of open space corridors; protection of endangered species and species of special concern; protection of areas having the potential of future drinking water sources; preserving scenic views; protecting unique plant life; preserving existing trails; areas for recreation uses; and acknowledge that open space land helps mitigate the many impacts of climate change.
2. Encourage participation in programs such as the open space assessment program authorized by **Public Act 490**, that provide incentives for landowners of key sensitive parcels to maintain their land in an undeveloped condition.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

3. Continue the Town's participation in the **Salmon River Watershed Partnership** and work to further their goals and objectives.
4. Assess and **protect wetlands** and watercourses in the Town of Hebron (see the Inland Wetlands and Watercourse Regulations riparian corridor protection areas and the Natural Resources Inventory).
5. **Encourage the State of Connecticut to expand, maintain, and improve their parks and properties** in the Town and to develop long range plans for these properties, considering environmental aspects and recreational opportunities for Town residents and visitors.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

6. Continue to encourage permanent conservation of **properties abutting existing State lands**.
7. Encourage Town and State officials to work toward the goal of **establishing greenways** and natural open space corridors along major watercourses and natural systems.
8. **Continually review and refine open space policies that apply to new development** designed to protect natural and historical features, provide recreational opportunities, and minimize the impact of new development from existing Town roads.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

9. Continue to utilize the **Fee-In-Lieu of open space** regulation, particularly in smaller subdivisions where no practical open space opportunities exist.
10. Support the full funding of the **Open Space Land Acquisition Fund**, which would be used to purchase open space / recreation areas or acquire other easement or development rights
11. Work with **conservation groups** and forest ecologists to further conservation / education efforts regarding the Town's open space systems.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

12. The "**Future Open Space**" map will serve as a guide for future Town efforts to expand, preserve and improve the open space system. The Plan should be continually updated.
13. Encourage and promote the voluntary **donation of open space** or the dedication of conservation easements on private lands to the Town for the preservation of valuable natural assets.
14. Assess and protect areas that have **large tracts of nearby or contiguous undeveloped land**.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

15. **Coordinate with adjacent towns** to preserve open space in Hebron that are contiguous to existing or potential open space in bordering towns.
16. Consider nominating a mature native town open space forest as a candidate for the **Old Growth Forest Network** - would provide enhanced recognition of the town's intent to preserve forests in old growth stewardship and draw region-wide interest to Hebron's open spaces.
17. Continue to **promote the benefits** and attributes of Hebron's Open Spaces through public outreach events (Hebron Day / Maple Fest), publications and on social media the town's website.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

Action Items

1. With Forest Ecologists and other professionals, and input from all boards and commissions, seek grant opportunities to create an open space stewardship plan for Town-owned properties taking into consideration recreational opportunities, protection of intact forest areas especially those with specimen trees and areas having Old Growth Forest potential, to promote and sustain biodiversity, to preserve / provide optimal habitats for plants and animals while enhancing carbon sequestration and storage, enhancing resiliency, mitigating the introduction of invasive species and promoting a healthy ecosystem.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

2. Create and implement local programs that provide incentives for owners of environmentally sensitive undeveloped land to maintain and preserve their land in an undeveloped state or to sell their land to the Town, a land trust or other entity that would maintain the land in an undeveloped state.
3. Continue to study and encourage aggressive cluster or open space subdivision and zoning techniques to allow flexibility in new development which will reduce the size of lots without increasing density, enhance the preservation of natural features, preserve larger areas of open space, and include design controls.

2024 Plan of Conservation and Development

Conservation Plan & Policies:

K. Open Space

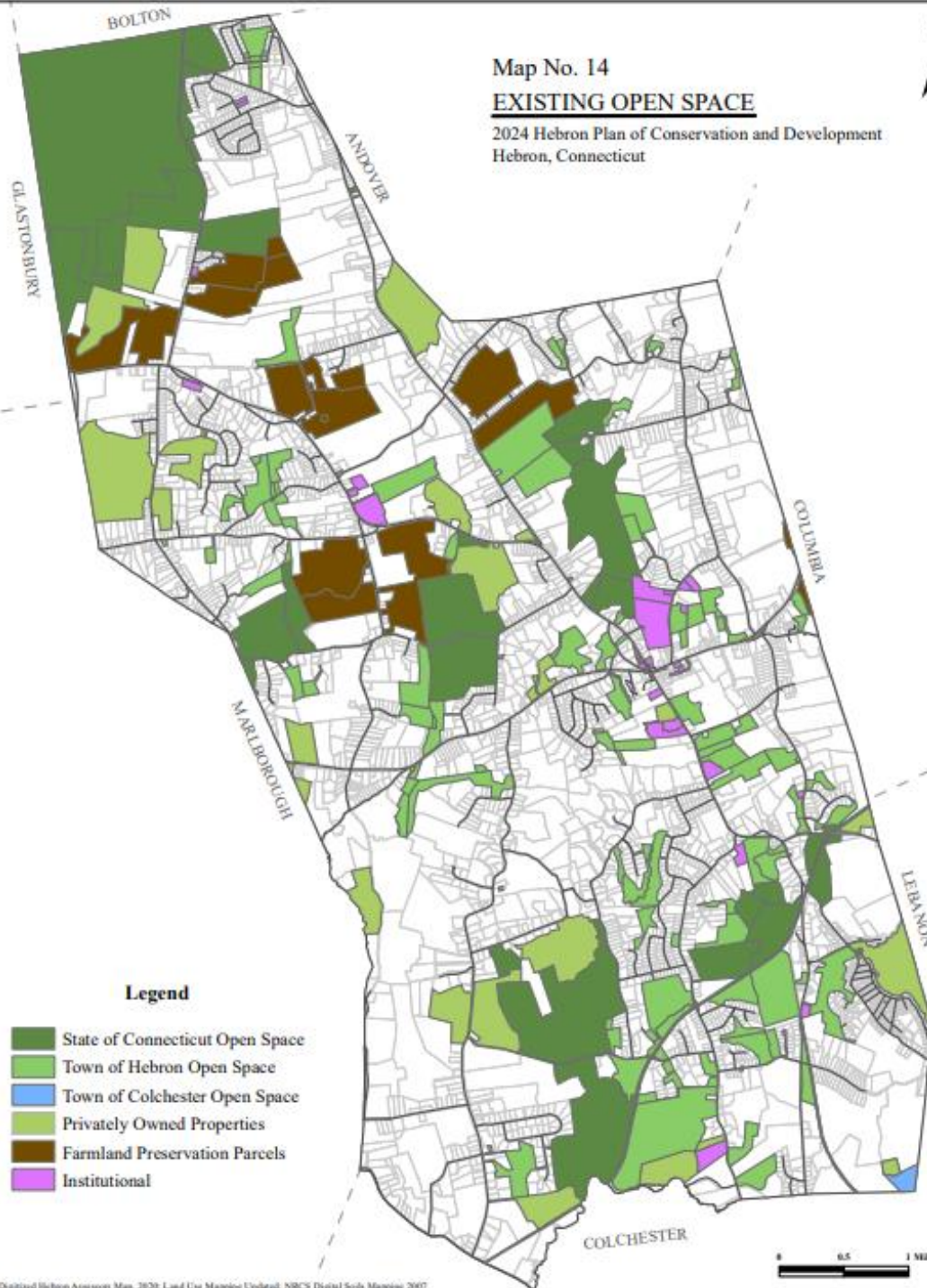
4. Expand existing educational activities (field walks, interpretive markers, cooperative activities with the schools, nature trail booklets, marked trails, Earth Day events, etc.) that will make the public aware of the roles that these natural systems perform, including mitigation of climate change, and threats such as those posed by non-native invasive species.
5. The Town should aggressively seek funding through State, federal and private grant opportunities to expand the open space system.
6. Encourage the use of State/Federal ecosystem service payments to landowners of undeveloped land based on the tons of carbon stored per acre that their land provides.

2024 Plan of Conservation and Development

Map No. 14

EXISTING OPEN SPACE

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Legend

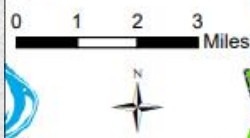
-  State of Connecticut Open Space
-  Town of Hebron Open Space
-  Town of Colchester Open Space
-  Privately Owned Properties
-  Farmland Preservation Parcels
-  Institutional

SALMON RIVER WATERSHED WATERSHED OPEN SPACE 7/2022



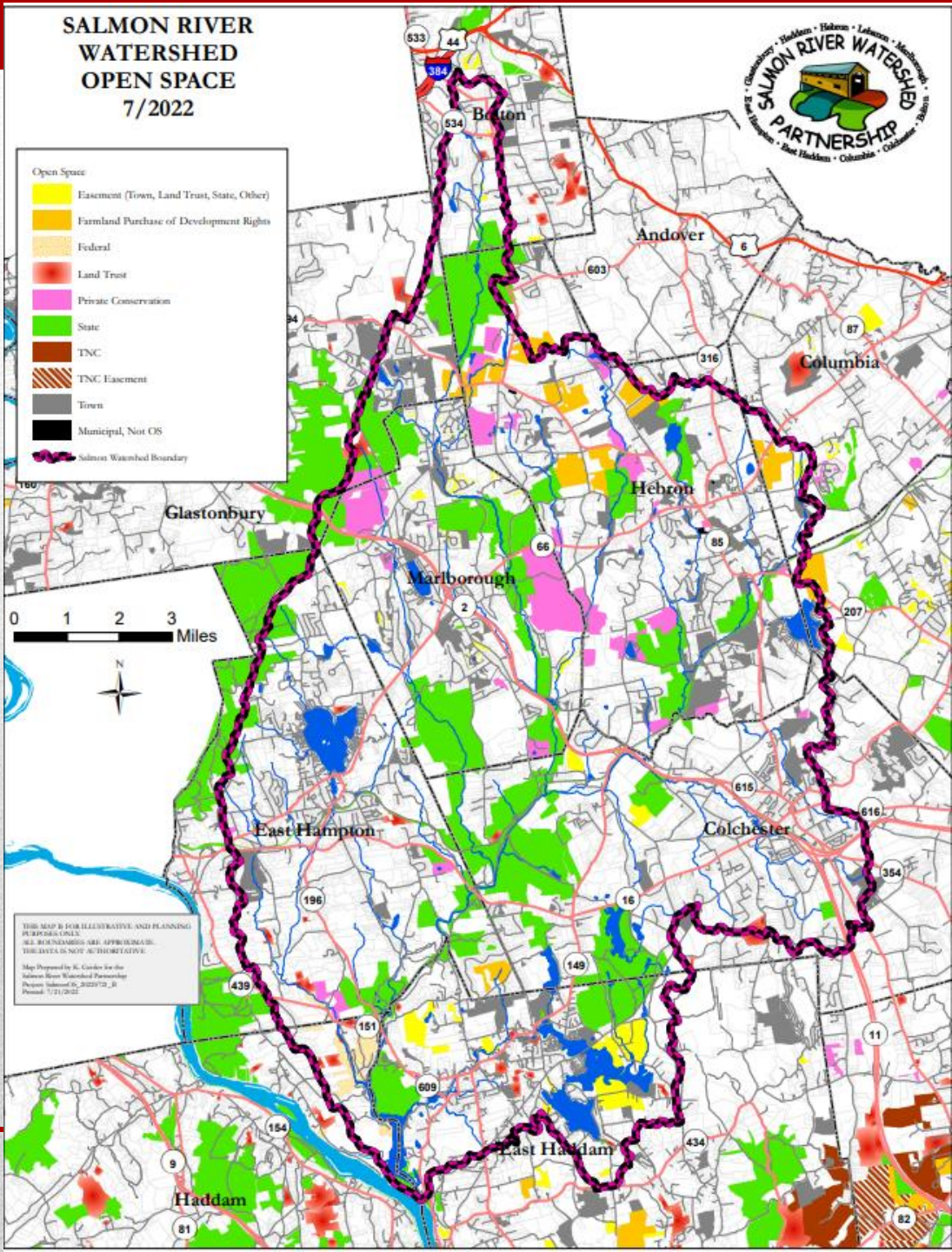
Open Space

- Easement (Town, Land Trust, State, Other)
- Farmland Purchase of Development Rights
- Federal
- Land Trust
- Private Conservation
- State
- TNC
- TNC Easement
- Town
- Municipal, Not OS
- Salmon Watershed Boundary



THIS MAP IS FOR ILLUSTRATIVE AND PLANNING PURPOSES ONLY. ALL BOUNDARIES ARE APPROXIMATE. THE DATA IS NOT AUTHORITY.

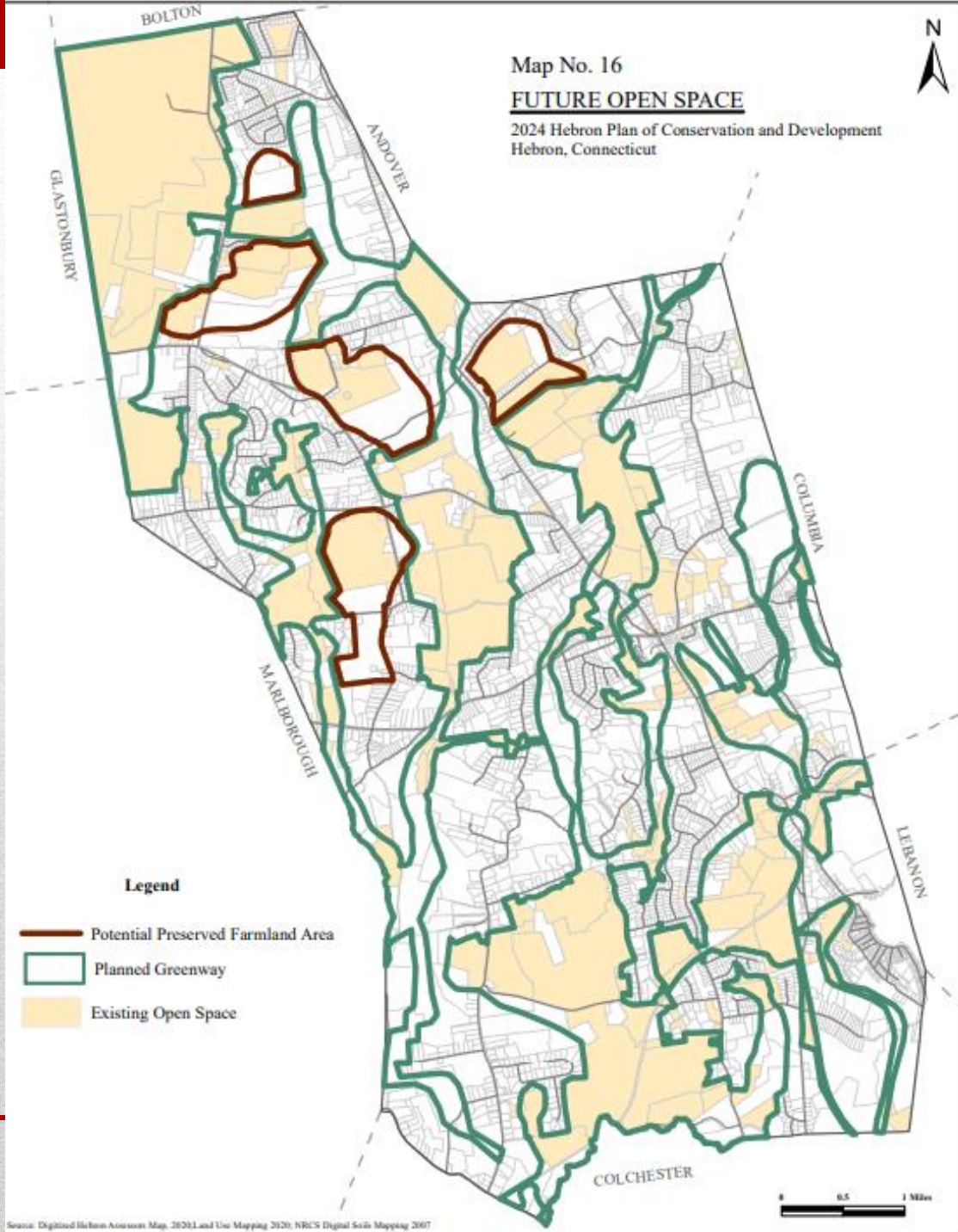
Map Prepared by K. Gordon for the Salmon River Watershed Partnership
Project Initiated 06/2022/09_08
Printed: 7/21/2022



Map No. 16

FUTURE OPEN SPACE

2024 Hebron Plan of Conservation and Development
Hebron, Connecticut



Legend

-  Potential Preserved Farmland Area
-  Planned Greenway
-  Existing Open Space



Plan of Conservation and Development

Town of Hebron, CT

Thank you !
