

HEBRON ELEMENTARY SCHOOL

92 CHURCH STREET
HEBRON, CT 06248

ROOF REPLACEMENT

STATE PROJECT NO. 067-0043 RR

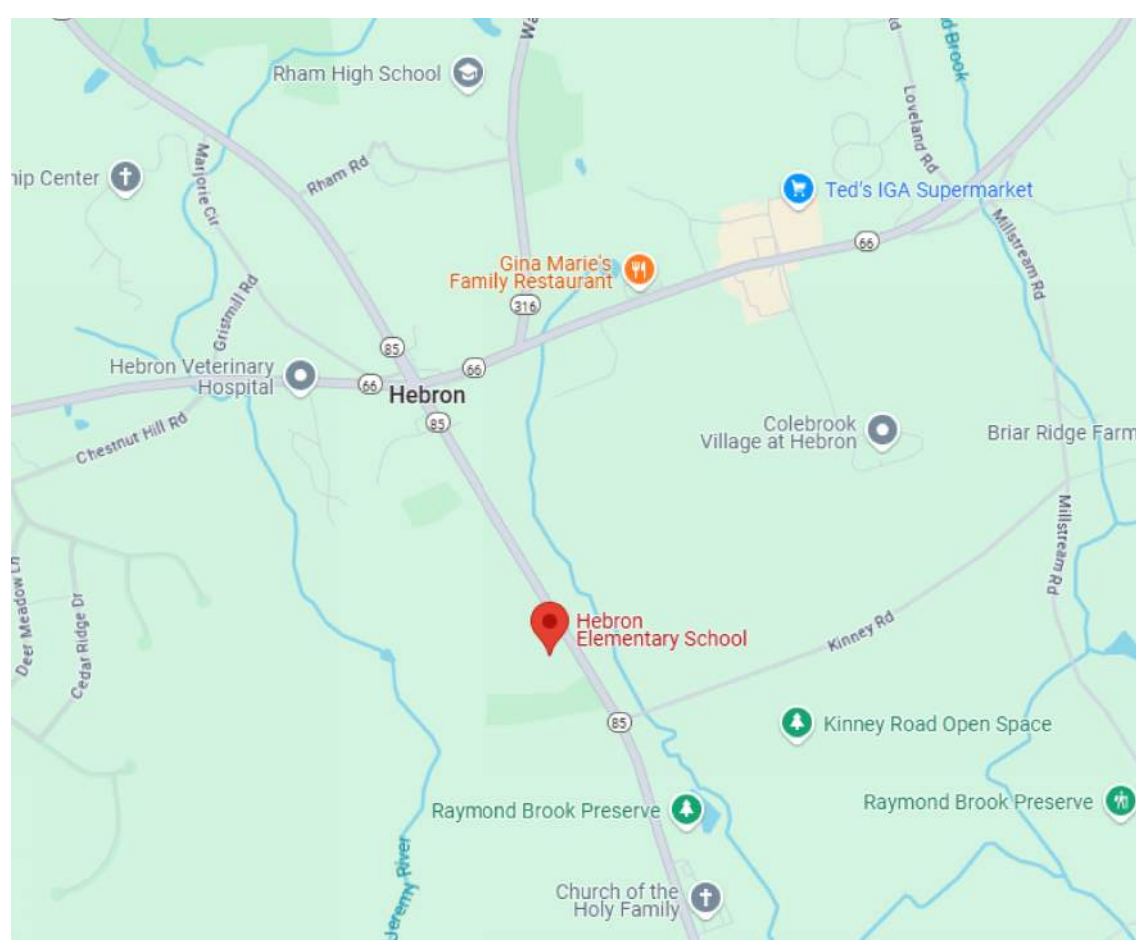
PRE BID CONFORMANCE REVIEW
3/3/25

ISSUED TO BID
4/14/25

ARCHITECT
FRIAR ARCHITECTURE
21 TALCOTT NOTCH ROAD
FARMINGTON, CONNECTICUT 06032

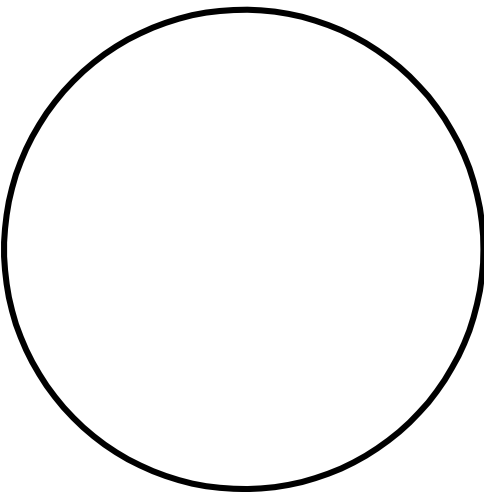
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SITE LOCATION MAP

SET NUMBER



ABBREVIATIONS

ABOVE FINISH FLOOR	A.F.F.	MASONRY	MAS.
ABOVE FINISH GRADE	A.F.G.	MASONRY OPENING	M.O.
ACOUSTIC	AC.	MATERIAL	MATL.
ACOUSTIC TILE	A.C.T.	MAXIMUM	MAX.
AIR CONDITIONING	A.C.	MECHANICAL	MECH.
AIR HANDLING UNIT	A.H.U.	METAL	MET.
ALTERNATE	ALT.	MEZZANINE	MEZZ.
ALUMINUM	ALUM.	MINIMUM	MIN.
ANCHOR, ANCHORAGE	ANCH.	MISCELLANEOUS	MISC.
ANCHOR BOLTS	AB		
ANGLE	L		
ANODIZED	ANOD.	OFFICE	OFF.
APPROVED	APPD.	ON CENTER	O.C.
ARCHITECTURAL / ARCHITECT	ARCH.	OPPOSITE HAND	O.H.
ASBESTOS	ASB.	OPENING	OPG.
ASPHALT	ASSP.	OUTSIDE DIAMETER	O.D.
ASSEMBLY	ASST		
ASSISTANT	ASST		
AT	@		
AUTOMATIC	AUTO.		
		PAINTED	PTD.
BEAM	BM.	PAIR	PR.
BEARING	BRG.	PAPER TOWEL DISPENSER	P.T.D.
BETWEEN	BET.	PERPENDICULAR	P.T.D.
BEVEL / BEVELED	BEV.	PLASTER	PLAS.
BITUMINOUS	BIT.	PLASTIC LAMINATE	P.LAM.
BLOCK	BLK.	PLATE	PL.
BLOCKING	BLKG.	PLUMBING	PLBG.
BOARD	BD.	PLYWOOD	PLYWD.
BOTTOM OF	BD.	PRECAST	P.C.
BOTTOM	BOTT.	PREFABRICATED	PREFAB.
BUILDING	BLDG.	PROJECT, PROJECTION	PROJ.
BUILT-UP ROOF	B.U.R.	POINT	PT.
		QUANTITY	QTY.
CABINET	CAB.	QUARRY TILE	Q.T.
CABINET UNIT HEATER	C.U.H.		
CAPACITY	CAP.	RADIUS	RAD.
CEILING	CLG.	RAIN WATER LEADER	RWL.
CEILING HEIGHT	CLG. HGT.	RECEIVING	REC.V.
CEMENT	CEM.	REFRIGERATOR	REF.
CENTER	CTR.	REINFORCED / REINFORCING	REINF.
CENTERLINE	CL	REQUIRED	REQ'D.
CERAMIC	CT	REVISION, REVISED	REV.
CHALKBOARD	C.BD.	RISER	R.
CHANNEL	CH.	ROOF DRAIN	R.D.
CLOSET	CLOS.	ROOM	RM.
COLUMN	COL.		
CONFERENCE	CONF.	SANITARY NAPKIN DISPENSER	S.N.D.
CONTROL OR		SANITARY NAPKIN RECEPTACLE	S.N.R.
CONSTRUCTION JOINT	C.J.	SCHEDULE	SCHED.
CONTRACTOR	CONTR.	SCUPPER	SC.
CORRIDOR	CORR.	SECTION	SECT.
COURSE / COURSES	CRS.	SEISMIC JOINT	S.J.
		SERVICE SINK	S.S.
DAMP/PROOFING	DAMP.R.	SHEET	SH.
DEGREE	DEG.	SIMILAR	SIM.
DEMOLITION	DEMO.	SOAP DISPENSER	S.D.
DEPARTMENT	DEPT.	SOUND TRANSMISSION CLASS	S.T.C.
DETAIL	DET.	SPECIFICATIONS	SPEC.
DIAMETER	DIA.	SPLASH BLOCK	S.B.
DIMENSION	DIM.	SQUARE	SQ.
DISTANCE	DIST.	SQUARE INCH (S)	SQ.IN.
DOOR	DR.	SQUARE YARD (S)	SQ.YD.
DOUBLE	DBL.	SQUARE FEET (FOOT)	S.F.
DOUBLE HUNG	D.H.	STAINLESS STEEL	ST. STL.
DOWN	DN.	STANDARD	STD.
DOWNSPOUT	D.S.	STEEL	STL.
DRAWING	DWG.	STORAGE	STOR.
DRINKING FOUNTAIN	D.F.	STRUCTURAL	STRUCT.
		STRUCTURAL GLAZED FACING TILE	SGFT.
EACH	EA.	STRUCTURAL STEEL	STRUCT. STL.
ELECTRIC / ELECTRICAL	ELEC.	SUSPEND. SUSPENSION	SUSP.
ELECTRIC WATER COOLER	EW.C.	SURFACE	SURF.
ELEVATION	EL.	SYSTEM	SYS.
ELEVATOR	ELEV.		
EXISTING FIRE EXTINGUISHER	EXFE	TACKBOARD	T.BD.
EMERGENCY	EMG.	TELEPHONE	TEL.
EQUAL	EQ.	TEMPERATURE/TEMPORARY	TEMP.
EQUIPMENT	EQUIP.	TONGUE & GROOVE	T. & G.
EXISTING	EXIST.	THRESHOLD	THLD.
EXISTING TO REMAIN	ETR.	THICK	THK.
EXPANSION	EXP.	TOILET	TLT.
EXPANSION JOINT	E.J.	TOP OF	T/O
EXTERIOR	EXT.	TYPICAL	TYP.
EXTERIOR INSULATION			
FINISH SYSTEM	EIFS.	UNDERWRITER'S LABORATORIES	U.L.
		UNIT HEATER	U.H.
EQUIPMENT	EQUIP.	UNIT VENTILATOR	U.V.
EXISTING	EXIST.	UNLESS NOTED OTHERWISE	U.N.O.
EXISTING TO REMAIN	ETR.	URINAL	U.R.
EXPANSION	EXP.		
EXPANSION JOINT	E.J.	VENT THRU ROOF	V.T.R.
		VERIFY IN FIELD	V.I.F.
FEET, FOOT	FT.	VERTICAL	VERT.
FINISH, FINISHED	FIN.	VINYL ASBESTOS TILE	V.A.T.
FIRE DAMPER	FDR.	VINYL COMPOSITION TILE	V.C.T.
FIRE EXTINGUISHER	FE.		
FIRE RETARDANT	FR.	WATER CLOSET	W.C.
FIREPROOFING	FRPFG.	WATERPROOFING	W.P.
FIXTURE	FIXT.	WELDED WIRE FABRIC	W.W.F.
FLASHING	FLASH.	WEIGHT	WT.
FLOOR	FL.	WHITE BOARD	WBD.
FLOOR DRAIN	FD.	WITH	W/.
FLOOR FINISH	FLR. FIN.	WOOD	WD.
FOOTING	FTG.		
FOUNDATION	FDN.		
FURNISH / FURNISHED	FURN.		
FURRED / FURRING	FURR.		
		GAUGE	GA.
		GALVANIZED	GALV.
		GYP/UM BOARD	GYP.BD.
HANDRAIL	HR.		
HANDICAPPED	H.C.		
HEIGHT	HGT.		
HIGH POINT	HP.		
HOLLOW METAL	HM.		
HORIZONTAL	HORIZ.		
HOSE BIB	HB.		
		IN. OR " INCH	IN. OR "
		INCLUDE / INCLUDING	INCL.
		INFORMATION	INFO.
		INSIDE DIAMETER	I.D.
		INSULATION	INSUL.
		INTERIOR	INT.
		JOINT	JT.
		KICKPLATE	KP.
LABORATORY	LAB.		
LAVATORY	LAV.		
LIGHTING	LTG.		
		MACHINE	MACH.
		MAINTENANCE	MAINT.
		MANUFACTURER	MFR.
		MARKER BOARD	MBD.

SYMBOLS LEGEND

ARCHITECTURAL SYMBOLS

BUILDING SECTION		SECTION NUMBER	
WALL SECTION		SHEET NUMBER	
COLUMN CENTERLINE		NUMBERS - (VERT.)	
		LETTERS - (HORIZ.)	
DETAIL DESIGNATION, PLAN DETAIL, LARGE SCALE PLANS		DETAIL NUMBER	
		SHEET NUMBER	
INTERIOR ELEVATIONS		ELEVATION NUMBER	
		SHEET NUMBER	
CASEWORK ELEVATIONS		ELEVATION NUMBER	
CEILING DESIGNATION		CEILING TYPE (LETTER)	
		CEILING HEIGHT (NUMBER)	
ROOM NUMBER		NUMBER	
DOOR NUMBER		NUMBER/TYPE	
WINDOW DESIGNATION		LETTER/TYPE	
DEMOLITION TAG		NUMBER	
WALL TYPES		NUMBER	
PHOTO LOCATION		PHOTO NUMBER	
REVISION NUMBER		NUMBER	
DATUM / ELEVATION / LEVEL LINE			
EXISTING CONSTRUCTION TO REMAIN			
NEW STUD CONSTRUCTION			
NEW CONCRETE BLOCK			
NEW FACE BRICK			
SOFFITS / OVERHANG ABOVE			
AREA OF REFUGE WHEELCHAIR SPACE			
ACCESS, CLEAR FLOOR SPACE			
ASSEMBLY WHEELCHAIR SEAT			
30"x48" CLEAR FLOOR SPACE			
ACCESSIBLE ELEMENT			

ARCHITECTURAL MATERIALS

ACOUSTICAL TILE		PLASTER	
ALUMINUM			
BATT INSULATION		PLYWOOD (SMALL)	
BITUMINOUS		RIGID INSULATION	
BRASS OR BRONZE		ROUGH WOOD (CONTINUOUS)	
CARPET		ROUGH WOOD (INTERRUPTED)	
CAST STONE		RUBBLE	
CERAMIC TILE		SHEATHING INSUL.	
C.M.U.		SLATE, FLAGGING, SOAPSTONE	
CONCRETE		STEEL	
EARTH		STRUCTURAL CLAY	
FACE BRICK		STRUCT. GLAZED FACING TILE	
FACE GRAIN		TERRA-COTTA	
FINISHED WOOD		TERRAZZO	
FIRE BRICK		ELEVATIONS	
GLASS BLOCK		BRICK	
GLAZED BRICK (CALL OUT)		CONCRETE BLOCK	
GLAZING		CERAMIC TILE	
GRAVEL		GLASS	
GYP/UM BOARD		METAL PANEL CORRUGATED	
MARBLE		SLATE, FLAGGING, SOAPSTONE	
METAL LATH		SHINGLES	
METAL (SMALL)		FLAT METAL PANEL	

CODE INFORMATION

EXISTING BUILDING INFORMATION

Date of Original Construction	1968	Additions / Renovations	1970's - Additions & Alterations 1980's - Additions & Alterations 1998 - Additions & Alterations
1. GROUP CLASSIFICATION (Primary)			E, EDUCATIONAL
2. CONSTRUCTION TYPE			
Actual Type Provided		5A / 2B	
New Construction		None	
3. WORK AREA (WORK AREA) Existing Roof Area to be Replaced		27,654 s.f.	
4. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS (Table 705.5)			
Primary structural frame		2B	0 Hr(s)
Bearing walls:			
Exterior		0	Hr(s) See Table 705.5
Interior		0	Hr(s)
Nonbearing walls and partitions (Exterior)		-	Hr(s) See Table 705.5
Nonbearing walls and partitions (Interior)		0	Hr(s)
Floor Construction and associated secondary members		0	Hr(s)
Roof Construction and associated secondary members		0	Hr(s)
5. SPRINKLER PROTECTION		Provided	
		X	None Provided
6. BUILDING AREAS FOR GRANT CALCULATIONS (ENTIRE FACILITY)			
EXISTING ROOF CONSTRUCTION		68,271 s.f.	
EXISTING ROOF TO REMAIN		40,617 s.f.	
EXISTING ROOF TO BE REPLACED		27,654 s.f.	
TOTAL ROOF - ENTIRE FACILITY		68,271 s.f.	

CODE INFORMATION

* WITH CONNECTICUT AMENDMENTS AND GENERAL STATUTE REQUIREMENTS

2021 INTERNATIONAL BUILDING CODE *	2021 INTERNATIONAL RESIDENTIAL CODE *
2021 INTERNATIONAL MECHANICAL CODE *	2021 INTERNATIONAL EXISTING BUILDING CODE *
2021 INTERNATIONAL PLUMBING CODE *	2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC A117.1-2017) *
2021 INTERNATIONAL ENERGY CONSERVATION CODE *	2021 NATIONAL ELECTRICAL CODE (NFPA 70) *
2019 INSTALLATION OF SPRINKLER SYSTEMS (NFPA 13)	2021 INTERNATIONAL FIRE CODE *
2021 LIFE SAFETY CODE (NFPA 101) *	2021 INTERNATIONAL SWIMMING POOL & SPA CODE *
2021 FIRE CODE (NFPA 1) *	

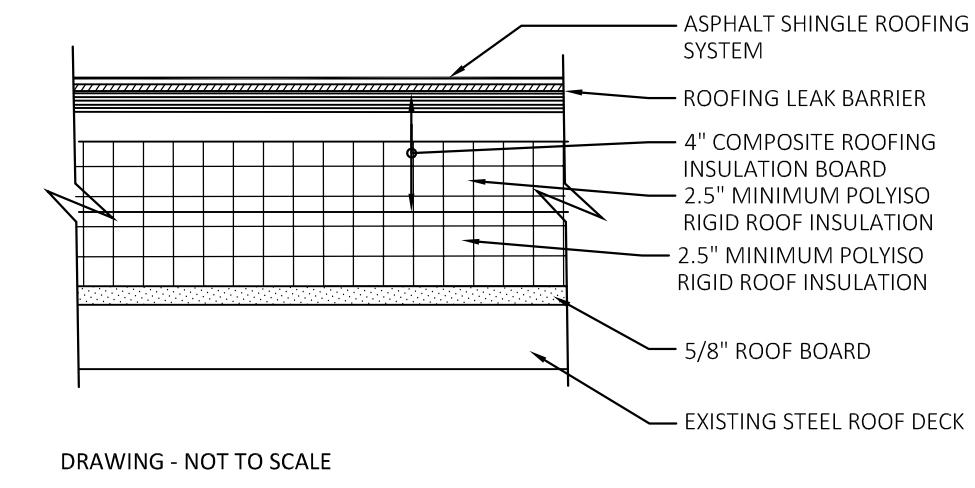
ROOF SYSTEM INFORMATION

ROOF R-VALUES

STEEL ROOF DECK

ASPHALT SHINGLE ROOF SYSTEM	
MATERIAL:	'R' VALUE:
OUTSIDE AIR	0.17
ASPHALT SHINGLE ROOFING	0.44
ICE & WATER SHIELD	0.00
MINIMUM 4" VENTED COMPOSITE RIGID ROOF INSULATION (MIN. R = 5.7/INCH)	14.40
MINIMUM 2-1/2" CONTINUOUS RIGID ROOF INSULATION (MIN. R = 5.7/INCH)	14.40
5/8" ROOF BOARD	0.67
STEEL ROOF DECK	0.00
INSIDE AIR FILM	0.61
Total:	30.69
IECC 2021	30.00 C.I.

SHINGLE ROOF ASSEMBLY - STEEL DECK

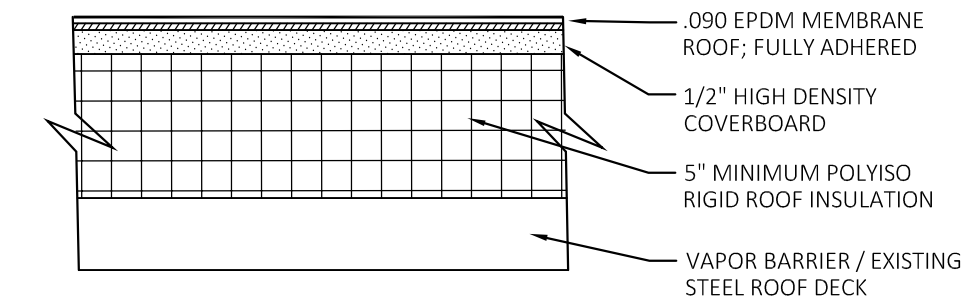


5/8" ROOF BOARD TO FURNISHED & INSTALLED AT EXISTING 4" DEEP STEEL ROOF DECK.

STEEL ROOF DECK

EPDM ROOFING SYSTEM	
MATERIAL:	'R' VALUE:
OUTSIDE AIR	0.17
EPDM ROOF MEMBRANE	0.50
1/2" HIGH R COVER BOARD	2.50
MINIMUM 5" CONTINUOUS RIGID ROOF INSULATION (MIN. R = 5.7/INCH)	28.50
STEEL ROOF DECK / VAPOR BARRIER	0.00
INSIDE AIR FILM	0.61
Total:	32.28
IECC 2021	30 C.I.

EPDM ROOF ASSEMBLY - STEEL DECK

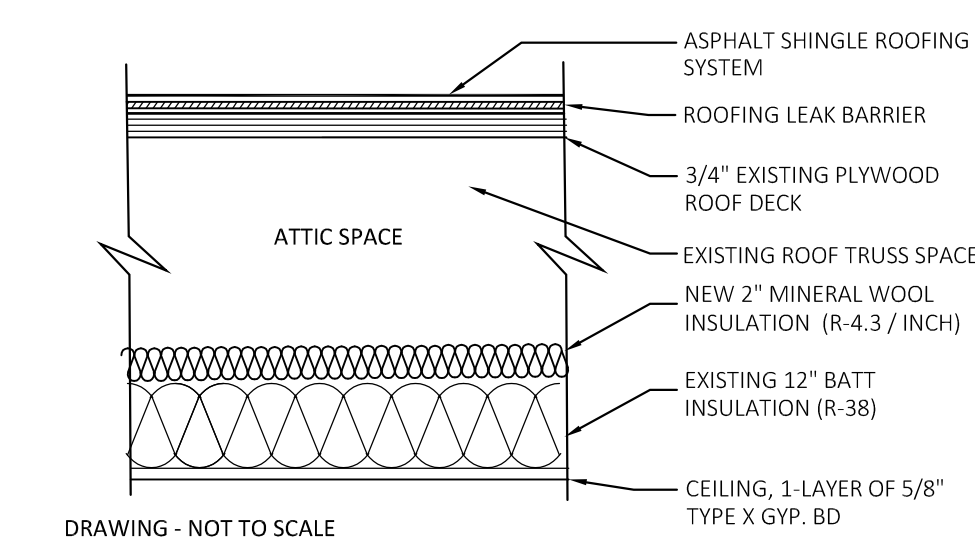


5/8" ROOF BOARD TO FURNISHED & INSTALLED AT EXISTING 4" DEEP STEEL ROOF DECK.

WOOD (TRUSS) ROOF DECK

ASPHALT SHINGLE ROOF SYSTEM	
MATERIAL:	'R' VALUE:
OUTSIDE AIR	0.17
ASPHALT SHINGLE ROOFING	0.44
ICE & WATER SHIELD	0.00
EXISTING 3/4" PLYWOOD ROOF DECK	0.94
2" CONTINUOUS MINERAL WOOL INSULATION	8.60
EXISTING TRUSS ROOF INSULATION	
12" BATT ROOF INSULATION	38.00
EXISTING 1-LAYER 5/8" TYPE X GYP. BD.	0.56
INSIDE AIR FILM	0.61
Total:	49.32
IECC 2021	49.00

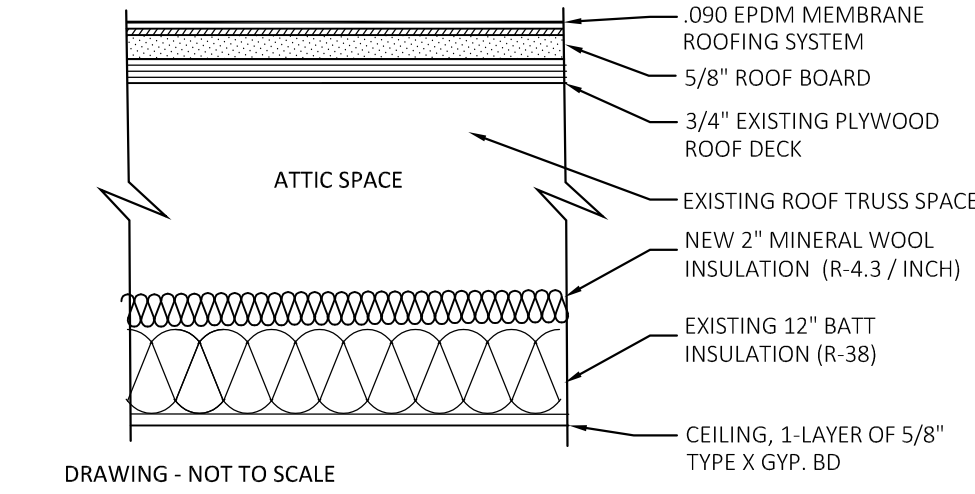
SHINGLE ROOF ASSEMBLY - PLYWOOD DECK



WOOD (TRUSS) ROOF DECK

EPDM ROOFING SYSTEM	
MATERIAL:	'R' VALUE:
OUTSIDE AIR	0.17
EPDM ROOF MEMBRANE	0.50
5/8" ROOF BOARD	0.67
EXISTING 3/4" PLYWOOD ROOF DECK	0.94
2" CONTINUOUS MINERAL WOOL INSULATION	8.60
EXISTING TRUSS ROOF INSULATION	
12" BATT ROOF INSULATION	38.00
1-LAYER 5/8" TYPE X GYP. BD.	0.56
INSIDE AIR FILM	0.61
Total:	50.05
IECC 2021	49.00

EPDM ROOF ASSEMBLY - PLYWOOD DECK



ROOF REPLACEMENT - CODE INFO

THE INTERNATIONAL EXISTING BUILDING CODE (IEBC)

CHAPTER 3: PROVISIONS FOR ALL COMPLIANCE METHODS
SECTION 301 ADMINISTRATION - IN PARTICULAR SECTIONS 301.1 APPLICABILITY, AND WORK AREA COMPLIANCE METHOD PER SECTION 301.3.2

CHAPTER 6: CLASSIFICATION OF WORK -
SECTION 602 ALTERATION LEVEL 1 - 602.1 SCOPE, REFERS TO THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS (ROOF REPLACEMENT). THE SCOPE OF WORK AREA IS AN ALTERATION LEVEL 1

602.2 APPLICATION - LEVEL 1 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 7: ALTERATIONS - LEVEL 1

THE ALTERATION MUST COMPLY WITH CHAPTER 7:
SECTION 701 GENERAL - IN PARTICULAR SECTION 701.2 CONFORMANCE.

SECTION 702 BUILDING ELEMENTS AND MATERIALS - IN PARTICULAR SECTIONS 702.7 MATERIALS AND METHODS

SECTION 705 REROOFING - IN PARTICULAR SECTIONS 705.1 GENERAL, 705.2 ROOF REPLACEMENT& 705.5 FLASHINGS

SECTION 706 STRUCTURAL - IN PARTICULAR SECTIONS 706.1 GENERAL, SECTION 706.2 ADDITION OR REPLACEMENT OF ROOFING OR REPLACEMENT OF EQUIPMENT, SECTION 706.3 ADDITIONAL REQUIREMENTS FOR REROOF PERMITS

SECTION 708 ENERGY CONSERVATION - 708.1 MINIMUM REQUIREMENTS

SECTION 708 ENERGY CONSERVATION - IN PARTICULAR SECTION 708.1 MINIMUM REQUIREMENTS

LEVEL 1 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES DO NOT REQUIRE THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

BY COMPLYING WITH THE APPLICABLE REQUIREMENTS OF CHAPTERS 7 OF THE 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) THIS ALTERATION SHALL BE CONSIDERED IN COMPLIANCE.



21 Talcott Notch Road
Farmington, CT 06032

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PROFESSIONAL SEAL

CONSULTANT

ROOF REPLACEMENT
HEBRON ELEMENTARY SCHOOL

92 CHURCH STREET
HEBRON, CT 06248

STATE PROJECT NO. 067-0043 RR

REVISIONS

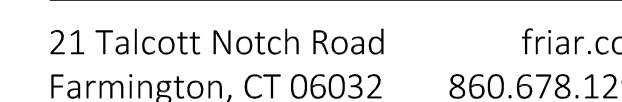
NO.	DATE	DESCRIPTION
	4/14/25	ISSUED TO BID

REFERENCE SHEET
CODE INFORMATION

DATE: 3/3/2025
SCALE: NOT TO SCALE
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

SHEET NO.

R1.1



PROFESSIONAL SEAL

CONSULTANT

ROOF REPLACEMENT
HEBRON ELEMENTARY
SCHOOL

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HEBRON, CT 06248

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REVISIONS

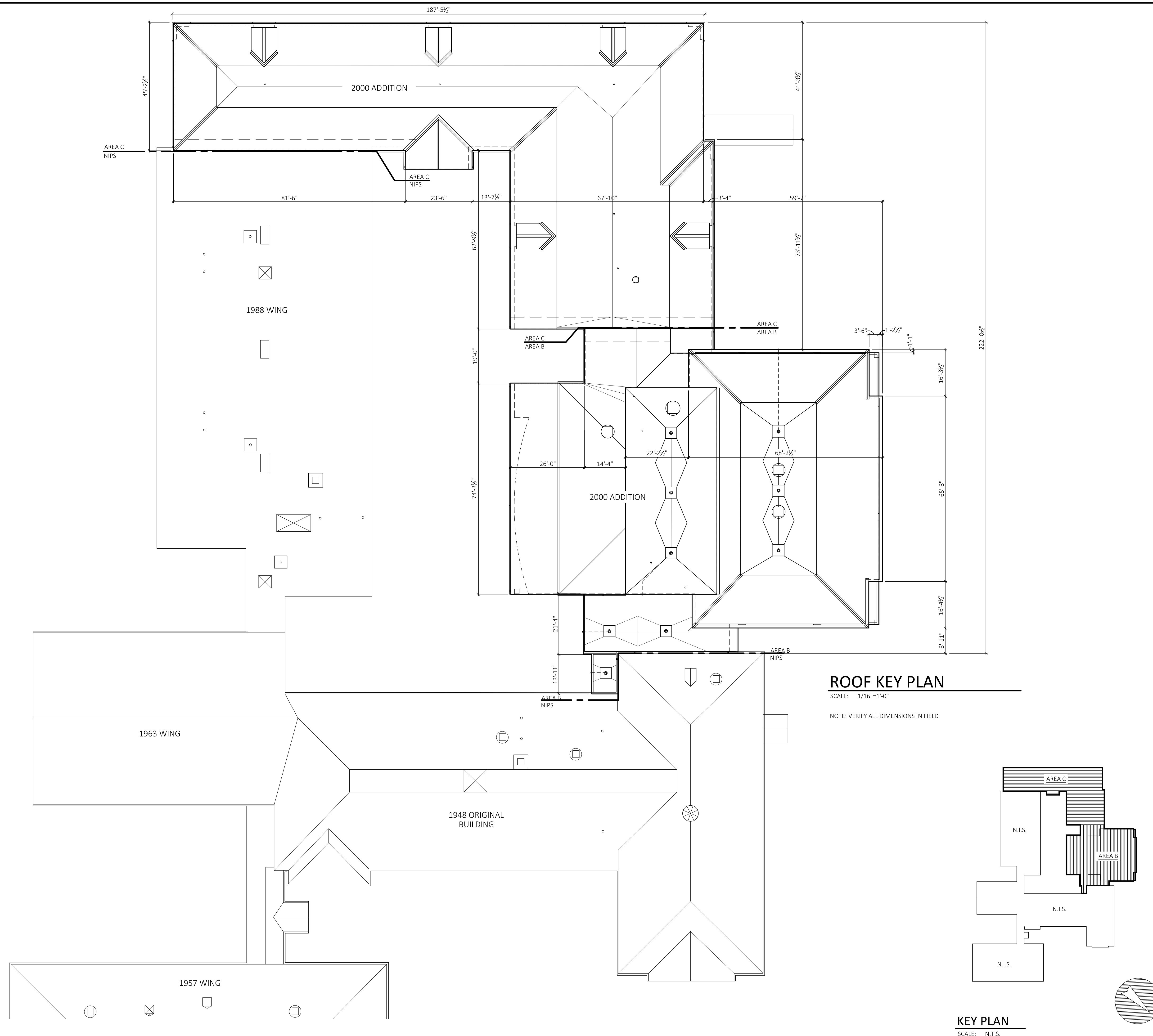
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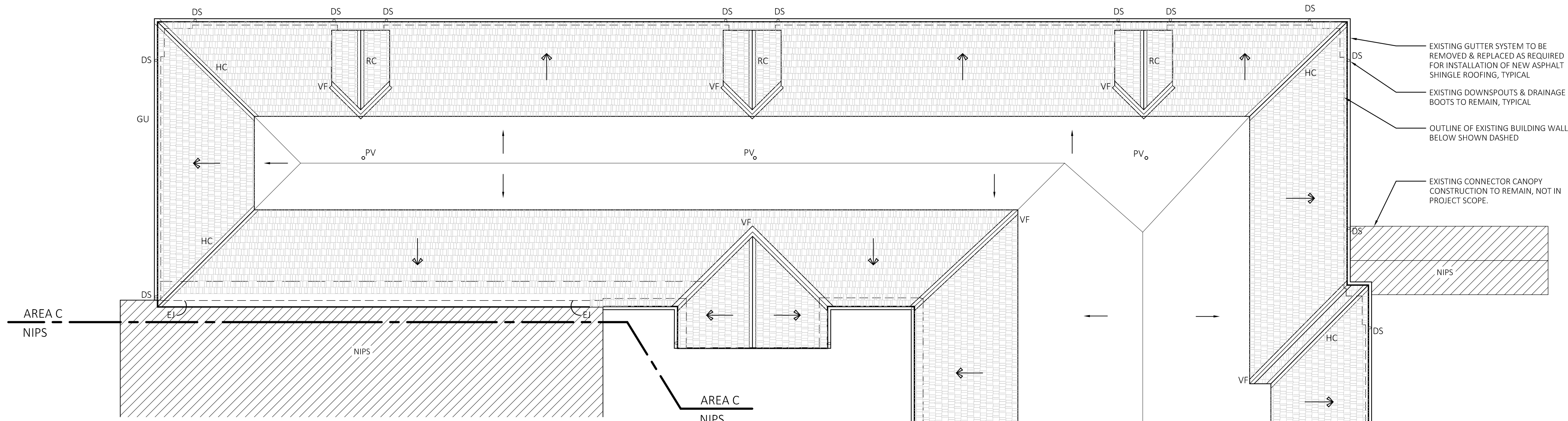
ROOF KEY PLAN

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

SHEET NO.

A0.1

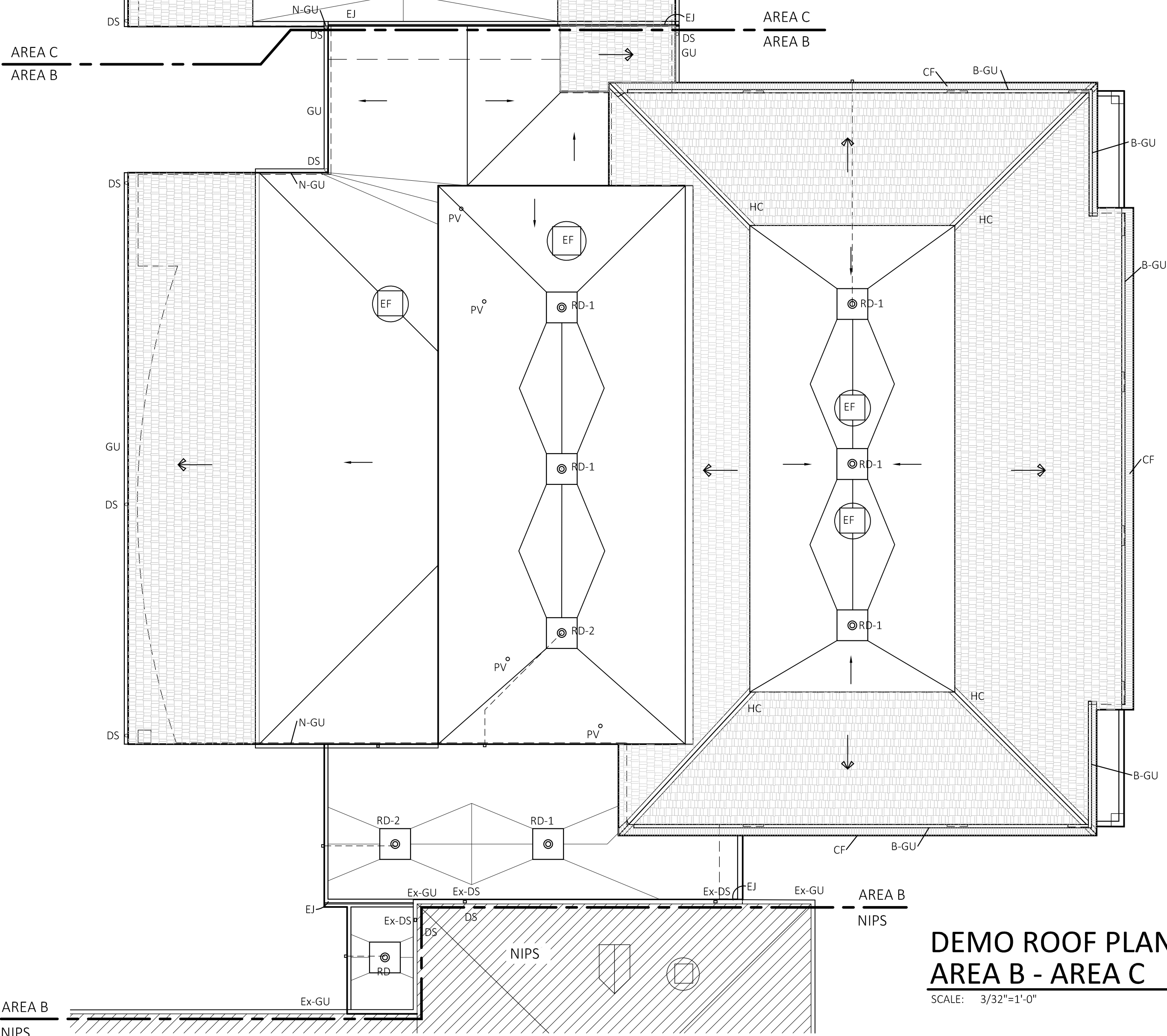




DEMOLITION NOTES

- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL NATIONAL, STATE, LOCAL CODES & ORDINANCES.
- THE DEMOLITION PLANS ARE DIAGRAMMATIC AND INTENDED TO HOW THE GENERAL EXTENT OF THE WORK ONLY. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK REQUIRED TO ACCOMPLISH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- ALL DEMOLISHED ITEMS SHALL BE REMOVED FROM BUILDING / SITE UNLESS NOTED OTHERWISE. COORDINATE WITH OWNER FOR DELIVERY OF ITEMS NOTED TO REMAIN OWNERS PROPERTY. THE PROJECT SITE / BUILDING SHALL BE CLEANED OF DEBRIS ON A DAILY BASIS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND SUPPORT (TEMPORARY OR PERMANENT) FOR ALL PORTIONS OF CONSTRUCTION DURING DEMOLITION AND CONSTRUCTION.
- ALL ABANDONED MECHANICAL / ELECTRICAL / PLUMBING LINES SHALL BE CAPPED OFF BEHIND FINISHES, UNLESS NOTED OTHERWISE. REFER TO MECHANICAL / ELECTRICAL / PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL SAWCUT ALL MASONRY OR CONCRETE OPENINGS INDICATED. MASONRY SHALL BE TOOTHED IN AND / OR RETURNED TO FINISHED OPENING.
- ALL OPENINGS WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, AND WHICH ARE NOT NOTED TO REMAIN, SHALL BE FILLED AND / OR PATCHED TO MATCH THE ADJACENT EXISTING OR NEW FINISH, INCLUDING ANY FIRE RATINGS REQUIRED.
- ALL AREAS OF FLOORS, WALLS AND CEILINGS DISTURBED BY DEMOLITION SHALL BE FILLED, PATCHED OR OTHERWISE REFINISHED TO MATCH EXISTING OR NEW FINISH AS DESIGNATED, INCLUDING ALL REQUIRED RATINGS.
- CONTRACTOR MUST VERIFY LOCATIONS OF ALL EXISTING STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL ELEMENTS PRIOR TO START OF DEMOLITION.

DEMO LEGEND	
	EXISTING SINGLE PLY ROOF SYSTEM TO BE REMOVED COMPLETE TO EXISTING ROOF DECK. ALL FLASHING & ROOF EDGE TO BE REMOVED COMPLETE.
	EXISTING ASPHALT SHINGLE ROOF SYSTEM TO BE REMOVED COMPLETE TO EXISTING ROOF DECK. COPPER FLASHING, BUILT IN GUTTERS, GUTTER DOWNSPOUTS TO REMAIN ALL OTHER FLASHING & ROOF EDGE TO BE REMOVED.
	ROOF AREAS DESIGNATED AS NOT IN PROJECT SCOPE (N.I.S.)
	EXISTING PITCHED SINGLE PLY ROOFING - VERIFY IN FIELD
	EXISTING PITCHED SHINGLE ROOFING - VERIFY IN FIELD
RD-1	REMOVE EXISTING ROOF DRAIN, ASSOCIATED STORM PIPING, PIPING CONNECTIONS TO ALLOW FOR INSTALLATION OF NEW ROOF DRAIN.
RD-2	REMOVE EXISTING ROOF DRAIN, ASSOCIATED STORM PIPING, PIPING CONNECTIONS TO ALLOW FOR INSTALLATION OF NEW BI-FUNCTIONAL ROOF DRAIN. REFER TO ROOF PLANS, A3.1, A3.2 & A3.3 FOR NEW ROOF DRAIN LOCATIONS.
PV	PLUMBING VENT TO REMAIN, REMOVE EXISTING ROOF FLASHING SYSTEM FOR NEW ROOF FLASHING, TYPICAL
EF	EXISTING EXHAUST FAN TO REMAIN, REMOVE EXISTING ROOF FLASHING SYSTEM FOR NEW ROOF SYSTEM FLASHING
PP	EXISTING PIPE PENETRATION TO REMAIN, REMOVE EXISTING ROOF FLASHING SYSTEM FOR NEW ROOF SYSTEM FLASHING
OF	CUT & DEMO EXISTING MASONRY WALL FOR INSTALLATION OF NEW THRU THE WALL OVERFLOW - SECONDARY DRAIN
EJ	REMOVE EXISTING EXPANSION JOINT & ASSOCIATED ROOF FLASHING SYSTEM FOR NEW EXPANSION JOINT & ROOF FLASHING
GU	EXISTING GUTTER SYSTEM TO BE REMOVED & REPLACED AS REQUIRED FOR INSTALLATION OF NEW ASPHALT SHINGLE ROOFING, TYPICAL
N-GU	NEW GUTTER REFER TO ROOF PLAN FOR LOCATIONS, TYPICAL
B-GU	EXISTING BUILT-IN GUTTER SYSTEM TO REMAIN PREP FOR INSTALLATION OF NEW ASPHALT SHINGLE ROOFING, TYPICAL
DS	EXISTING DOWNSPOUT & DRAINAGE BOOT TO REMAIN, MODIFY AS REQUIRED FOR NEW INSTALLATIONS, V.I.F.
VF	EXISTING COPPER VALLEY FLASHING TO REMAIN, PREP FOR INSTALLATION OF NEW ASPHALT SHINGLE ROOFING, TYPICAL
HC	EXISTING ASPHALT SHINGLE HIP CAP TO BE REMOVED, TYPICAL
RC	EXISTING ASPHALT SHINGLE RIDGE CAP TO BE REMOVED, TYPICAL
CF	EXISTING COPPER SLOPED ROOF EDGE FLASHING TO REMAIN, TYPICAL
Ex-GU	EXISTING GUTTER TO REMAIN - NOT IN PROJECT SCOPE
Ex-DS	EXISTING DOWNSPOUT TO REMAIN - NOT IN PROJECT SCOPE
NIPS	EXISTING ROOF TO REMAIN - NOT IN PROJECT SCOPE



DEMO ROOF PLAN
AREA B - AREA C

SCALE: 3/32"=1'-0"



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ROOF REPLACEMENT
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SCHOOL

92 CHURCH STREET
HEBRON, CT 06248

STATE PROJECT NO. 067-0043 RR

REVISIONS

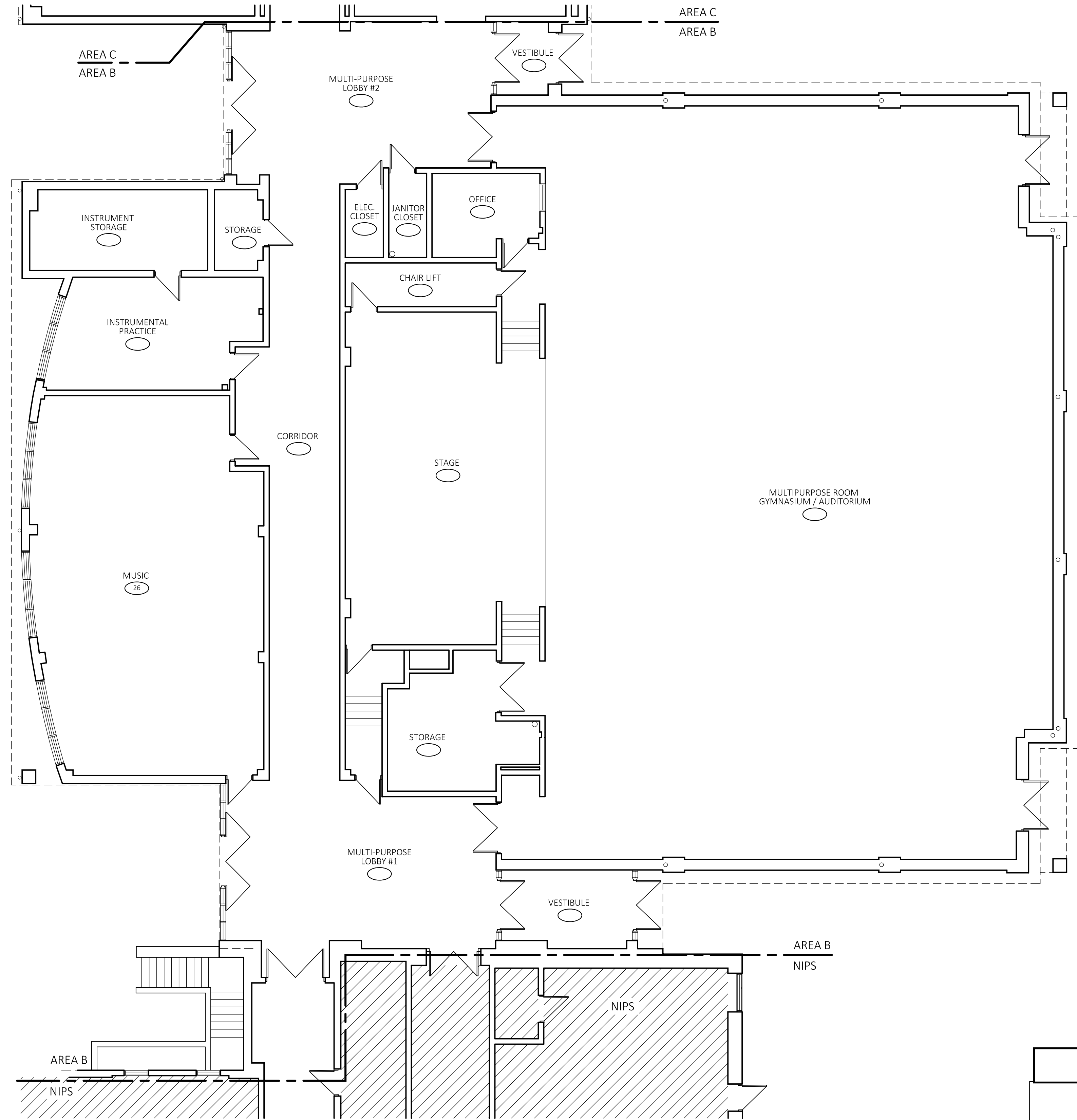
NO.	DATE	DESCRIPTION
	4/14/25	ISSUED TO BID

DEMO ROOF PLAN
AREA B - AREA C

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

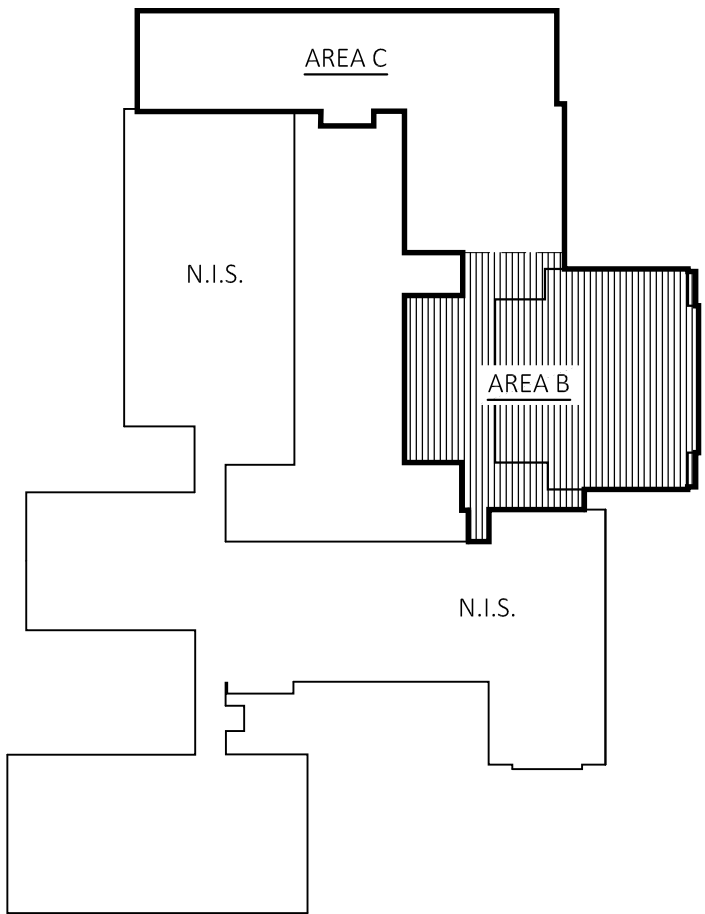
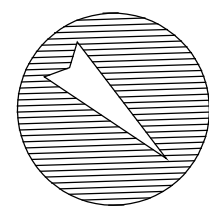
SHEET NO.

D1.1



FLOOR PLAN - AREA B

SCALE: 1/8"=1'-0"



KEY PLAN

SCALE: N.T.S.



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FLOOR PLAN - AREA B

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
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SHEET NO.

A1.1



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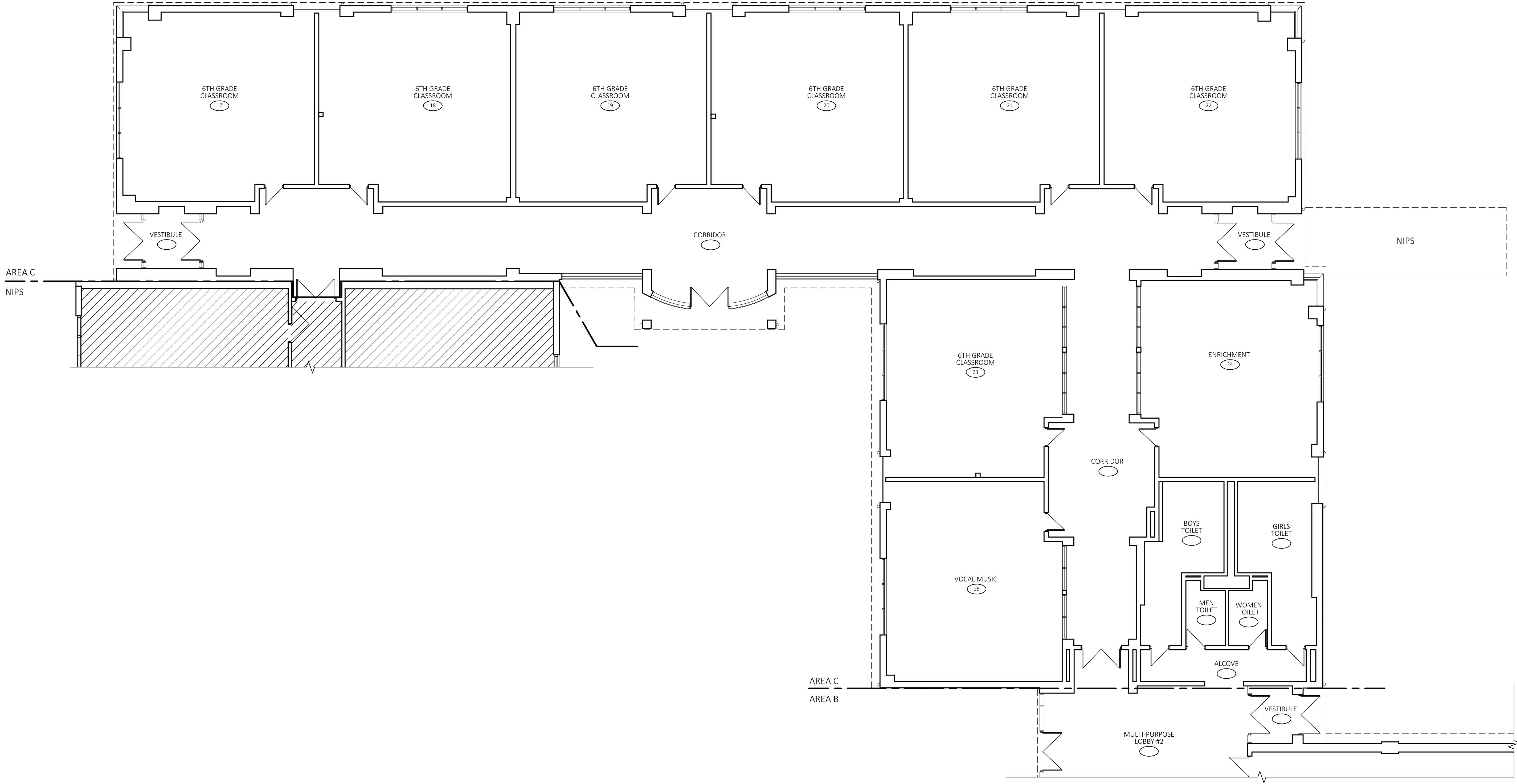
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	4/14/25	ISSUED TO BID

FLOOR PLAN - AREA C

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

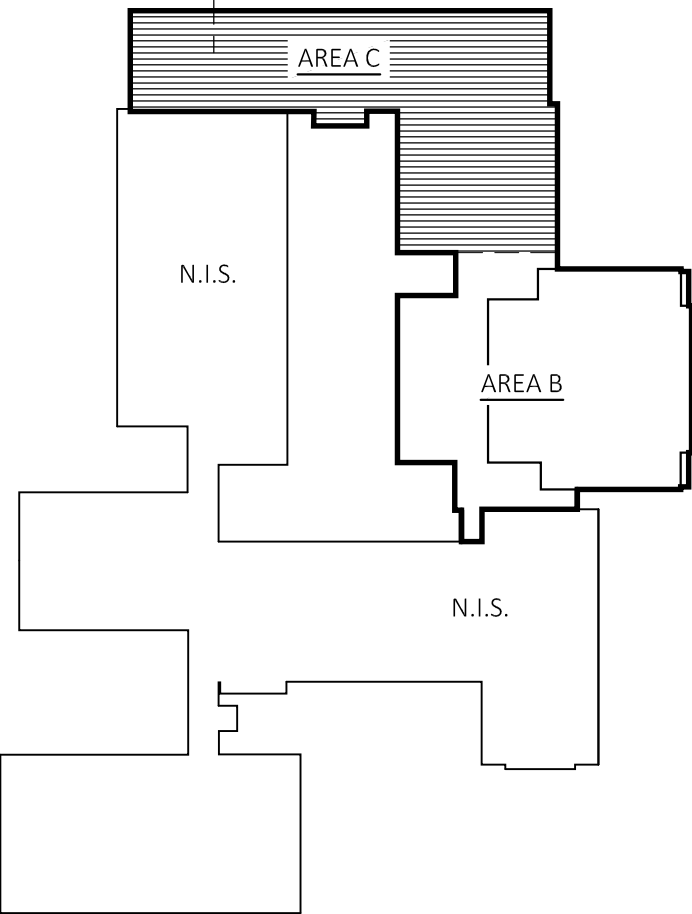
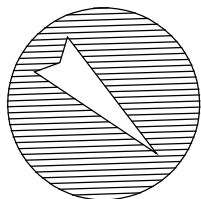
SHEET NO.

A1.2



FLOOR PLAN - AREA C

SCALE: 1/8"=1'-0"



KEY PLAN

SCALE: N.T.S.

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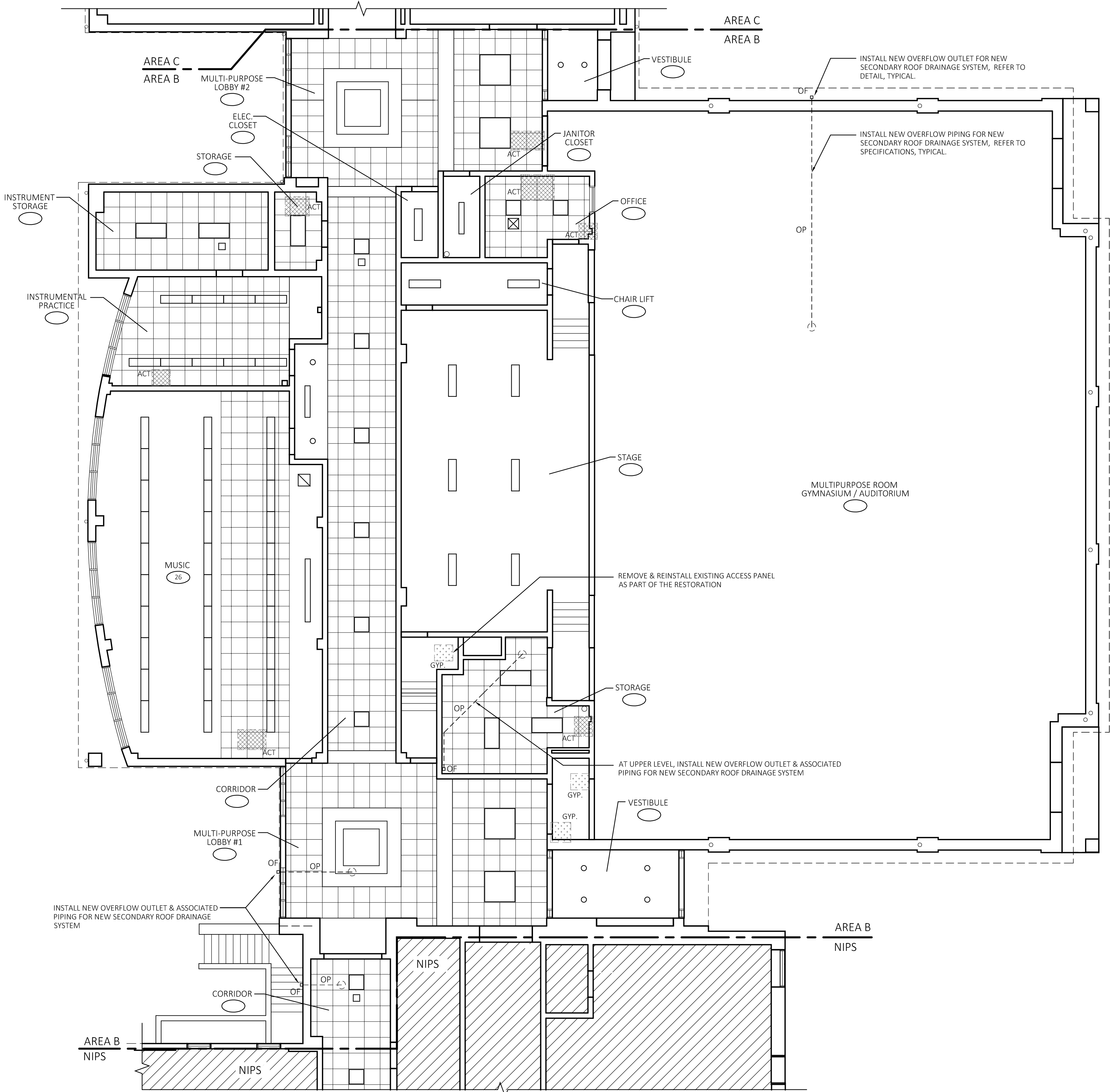
NO.	DATE	DESCRIPTION
	4/14/25	ISSUED TO BID

REFLECTED CEILING
PLAN - AREA B

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

SHEET NO.

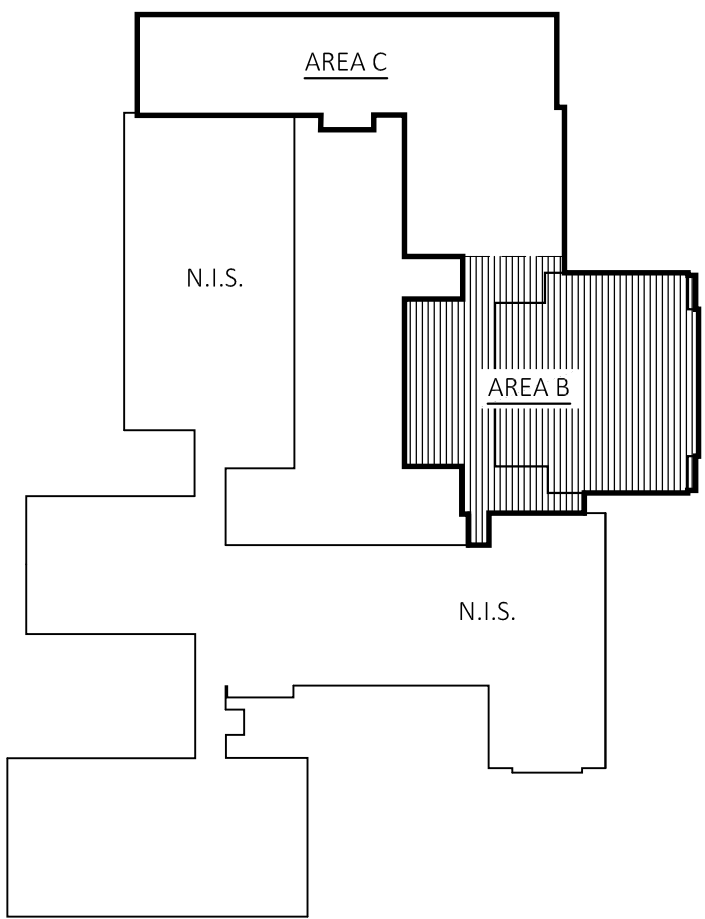
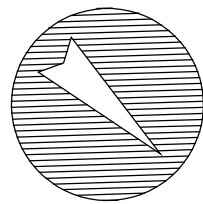
A2.1



REFLECTED CEILING PLAN - AREA B

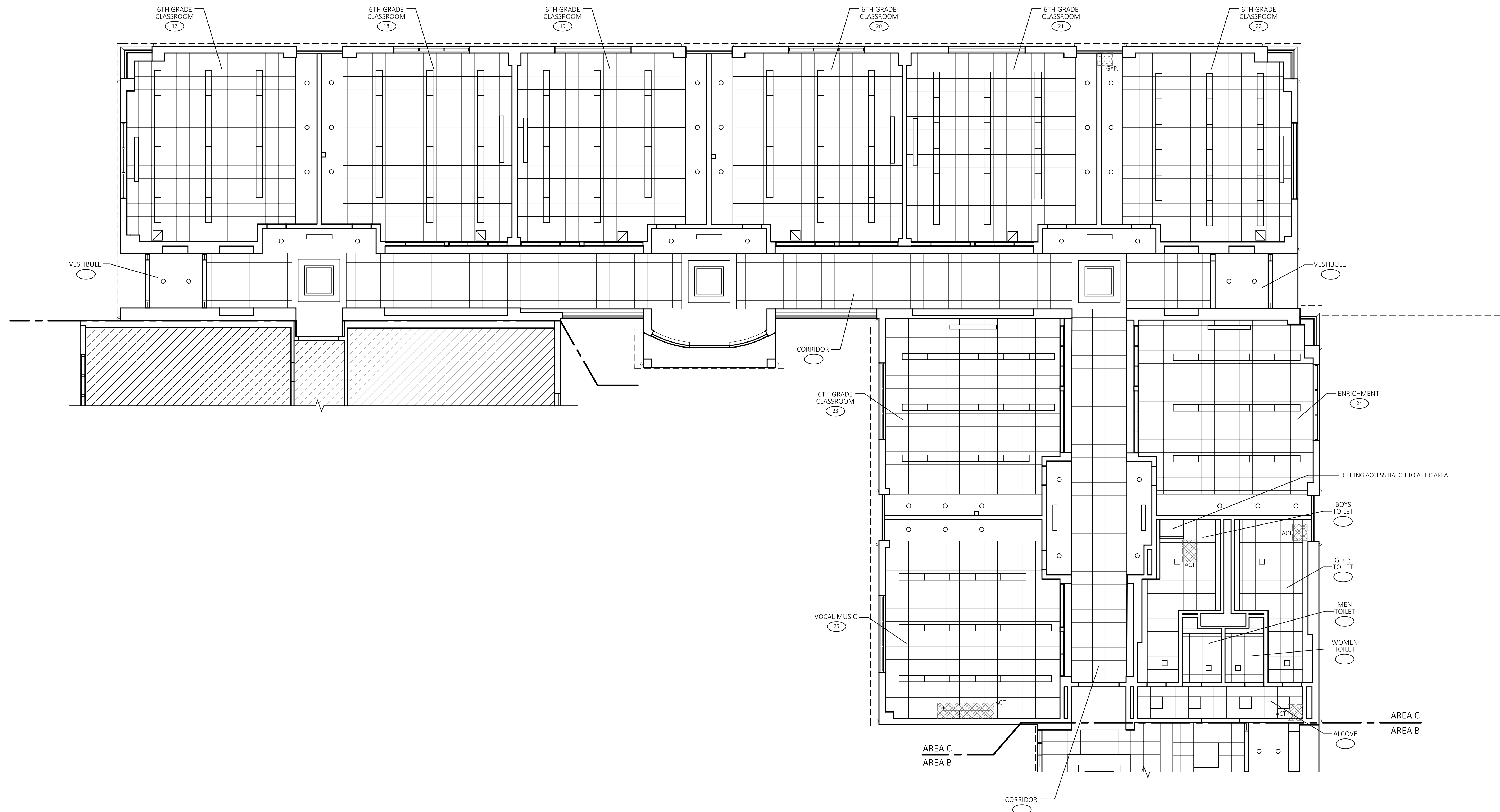
SCALE: 1/8"=1'-0"

- GYP.
CEILING AREAS WHERE GYPSUM BOARD REPAIR AND RESTORATION IS
REQUIRED
- ACT
CEILING AREAS WHERE ACOUSTICAL TILE REPLACEMENT IS REQUIRED



KEY PLAN

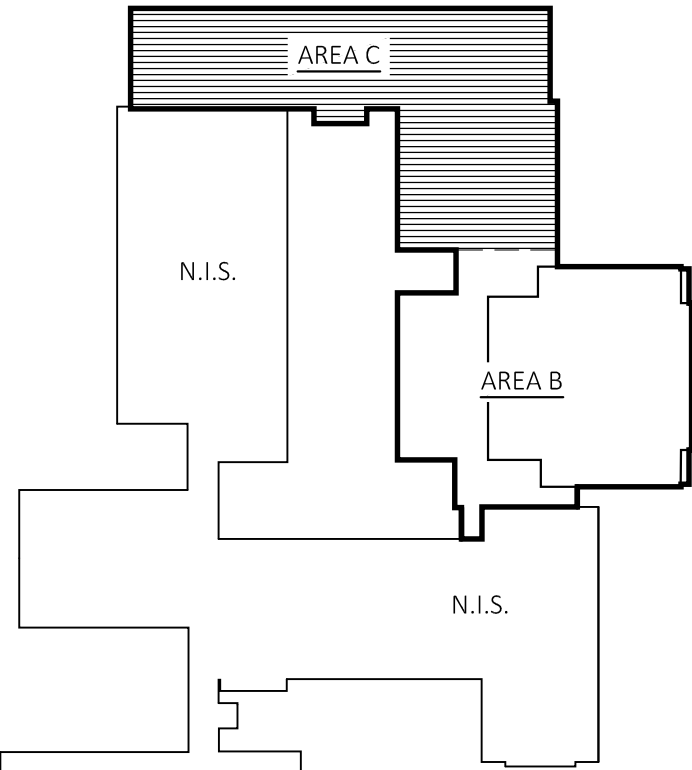
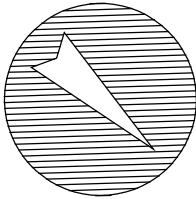
SCALE: N.T.S.



REFLECTED CEILING PLAN AREA C

SCALE: 1/8"=1'-0"

- GYP.
CEILING AREAS WHERE GYPSUM BOARD REPAIR AND RESTORATION IS REQUIRED
- ACT
CEILING AREAS WHERE ACOUSTICAL TILE REPLACEMENT IS REQUIRED



KEY PLAN
SCALE: N.T.S.



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REFLECTED CEILING
PLAN - AREA C

DATE: 3/3/2025
SCALE: --
PROJ. #: 2024-022A
DRAWN: --
CHECKED: --

SHEET NO.

A2.2

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ROOF PLAN - AREA B

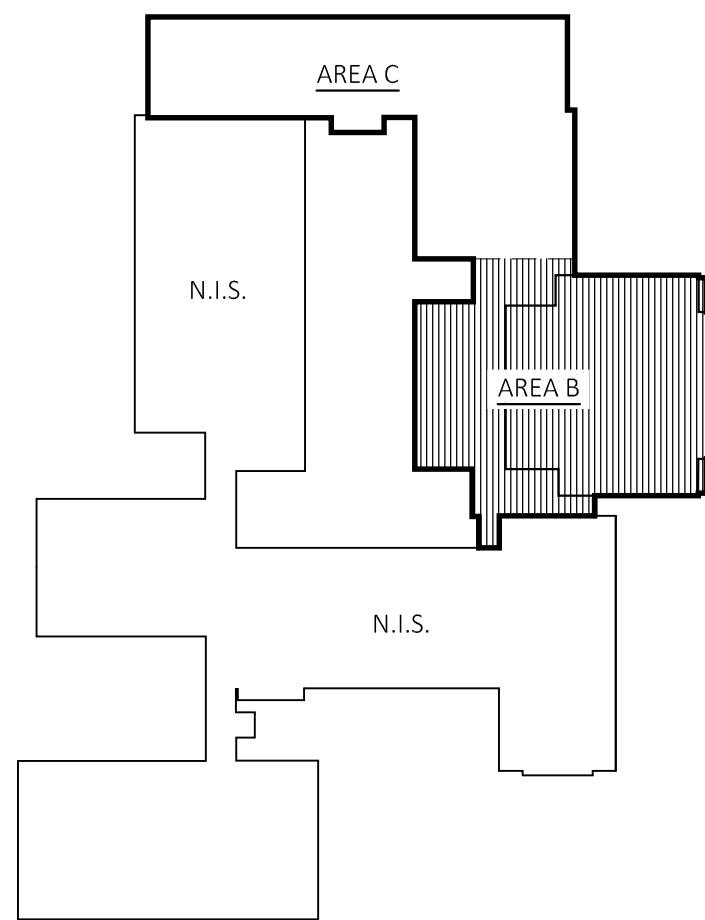
DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

SHEET NO.

A3.1

ROOF LEGEND

- NEW EPDM SINGLE PLY ROOF SYSTEM
- NEW ASPHALT SHINGLE ROOFING SYSTEM
AREA B (VENTED ROOF SHINGLE SYSTEM) AREA C (NON - VENTED ROOF SHINGLE SYSTEM)
- ROOF AREAS DESIGNATED AS NOT IN PROJECT SCOPE (N.I.S.)
- NEW TAPERED INSULATION - ROOF PITCH
- PITCHED ROOF STRUCTURE - VERIFY IN FIELD
- RD-1 NEW ROOF DRAIN, REFER TO PLUMBING SPECIFICATIONS FOR ROOF DRAIN. INSTALL ASSOCIATED STORM PIPING, PIPING CONNECTIONS & CLEANOUTS AS REQUIRED FOR RECONNECTION TO EXISTING STORM PIPING, TYPICAL.
- RD-2 NEW ROOF DRAIN, REFER TO PLUMBING SPECIFICATIONS FOR BI-FUNCTIONAL ROOF DRAIN. INSTALL ASSOCIATED STORM PIPING, PIPING CONNECTIONS & CLEANOUTS AS REQUIRED FOR RECONNECTION TO EXISTING STORM PIPING & NEW SECONDARY STORM PIPING SYSTEM.
- PV PLUMBING VENT TO REMAIN, NEW ROOF SYSTEM FLASHING, REFER TO DETAIL, TYPICAL.
- DN EXISTING EQUIPMENT DUNNAGE TO REMAIN. NEW ROOF FLASHING & FILL, REFER TO DETAIL, TYPICAL.
- DS EXISTING DOWNSPOUT TO REMAIN. AT ALL LOCATIONS PROVIDE SPLASH BLOCK & PROTECTIVE MEMBRANE, TYPICAL.
- N-DS NEW DOWNSPOUT, AT ALL LOCATIONS PROVIDE SPLASH BLOCK & PROTECTIVE MEMBRANE, TYPICAL.
- Ex-DS EXISTING DOWNSPOUT, NOT IN PROJECT SCOPE
- RTU ROOF TOP UNIT TO REMAIN, REMOVE EXISTING CURB FLASHING FOR INSTALLATION OF NEW CURB FLASHING, TYPICAL.
- RL EXISTING ROOF LADDER TO REMAIN
- ES INSTALL NEW EQUIPMENT CURB / SUPPORT & ASSOCIATED ROOF FLASHING SYSTEM FOR NEW ROOF, REFER TO DETAIL, TYPICAL.
- EF EXHAUST FAN TO REMAIN, NEW CURB FLASHING, REFER TO DETAIL, TYPICAL.
- PP NEW PIPE PENETRATION & FLASHING, REFER TO DETAIL, TYPICAL.
- GU EXISTING GUTTER, ROOF EDGE FLASHING / GUTTER, REFER TO DETAIL, TYPICAL.
- N-GU NEW GUTTER / ROOF EDGE FLASHING, REFER TO DETAIL, TYPICAL.
- Ex-GU EXISTING GUTTER, NOT IN PROJECT SCOPE
- MF INSTALL NEW ROOF FLASHING & METAL COUNTER FLASHING, REFER TO DETAIL, TYPICAL.
- RE INSTALL NEW METAL ROOF EDGE AS REQUIRED FOR ALL NEW WORK, REFER TO DETAIL, TYPICAL.
- EJ INSTALL NEW ROOF EXPANSION JOINT SYSTEMS AS REQUIRED FOR ALL NEW WORK, REFER TO DETAIL, TYPICAL.
- OF INSTALL NEW OVERFLOW OUTLET FOR NEW SECONDARY ROOF DRAINAGE SYSTEM, REFER TO DETAIL, TYPICAL.
- OP INSTALL NEW OVERFLOW PIPING FOR NEW SECONDARY ROOF DRAINAGE SYSTEM, REFER TO SPECIFICATIONS, TYPICAL.
- TF INSTALL NEW TRANSITIONAL METAL FLASHING AT ASPHALT SHINGLES / EPDM ROOFING INTERSECTION, REFER TO DETAIL, TYPICAL.
- WM INSTALL NEW WALK MATS AT LOCATIONS SHOWN, REFER TO DETAIL, TYPICAL.
- CF COPPER FLASHING TO REMAIN, TYPICAL
- B-GU BUILT-IN COPPER GUTTER TO REMAIN, TYPICAL
- SV NEW PREFABRICATED ASPHALT SHINGLE AIR VENT, TYPICAL
- EXISTING ROOF PITCH, VERIFY IN FIELD



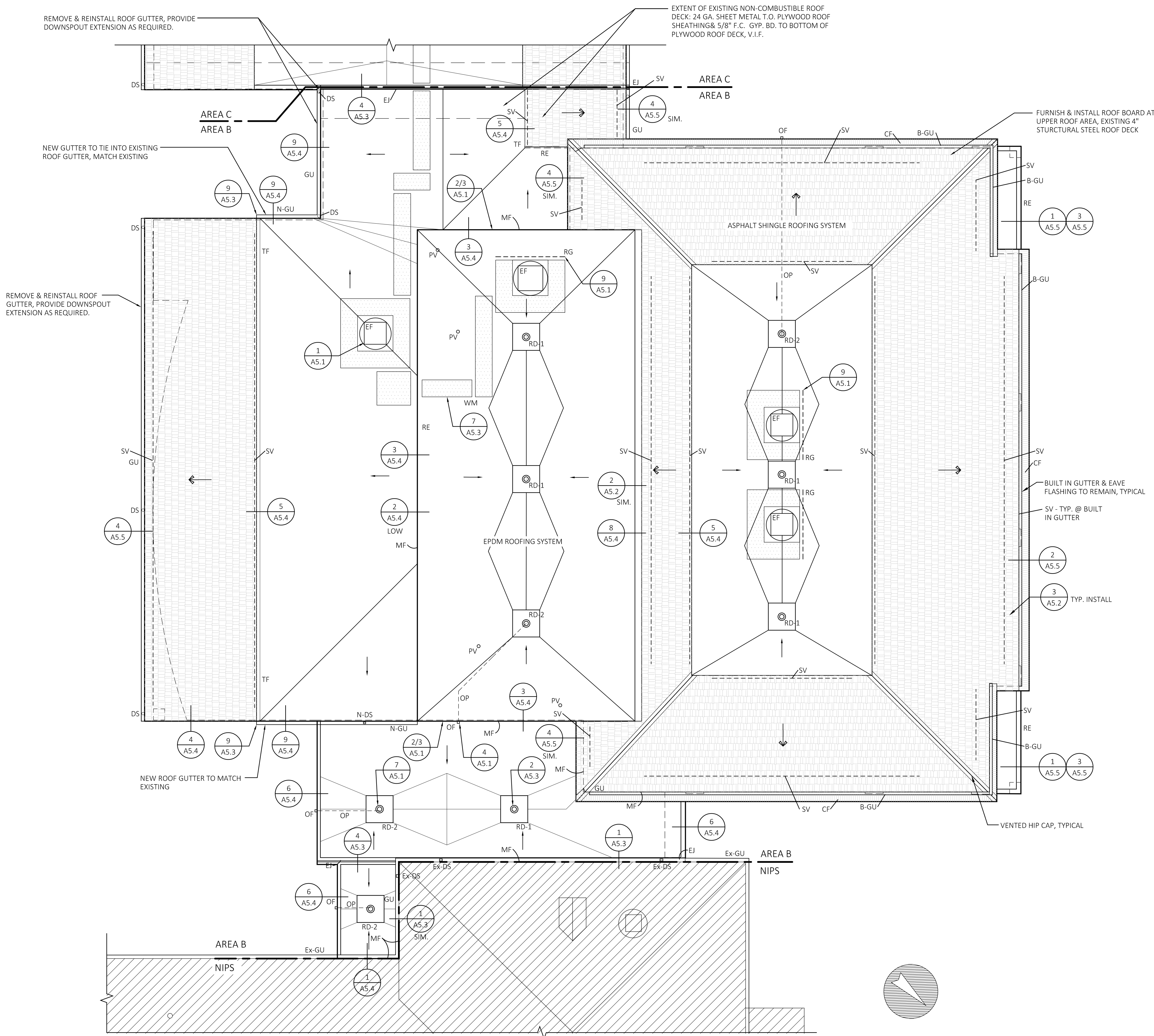
KEY PLAN

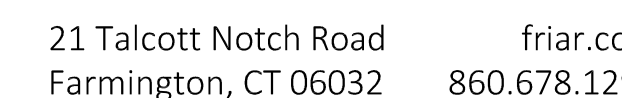
SCALE: N.T.S.

ROOF PLAN - AREA B

SCALE: 1/8"=1'-0"

REFER TO SHEET NO. A3.2 ROOF PLAN AREA C FOR CONSTRUCTION NOTES





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[illegible]

DATE: 3/3/2025
SCALE: --
PROJ. #: 2024-022A
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CHECKED: --

SHEET NO.

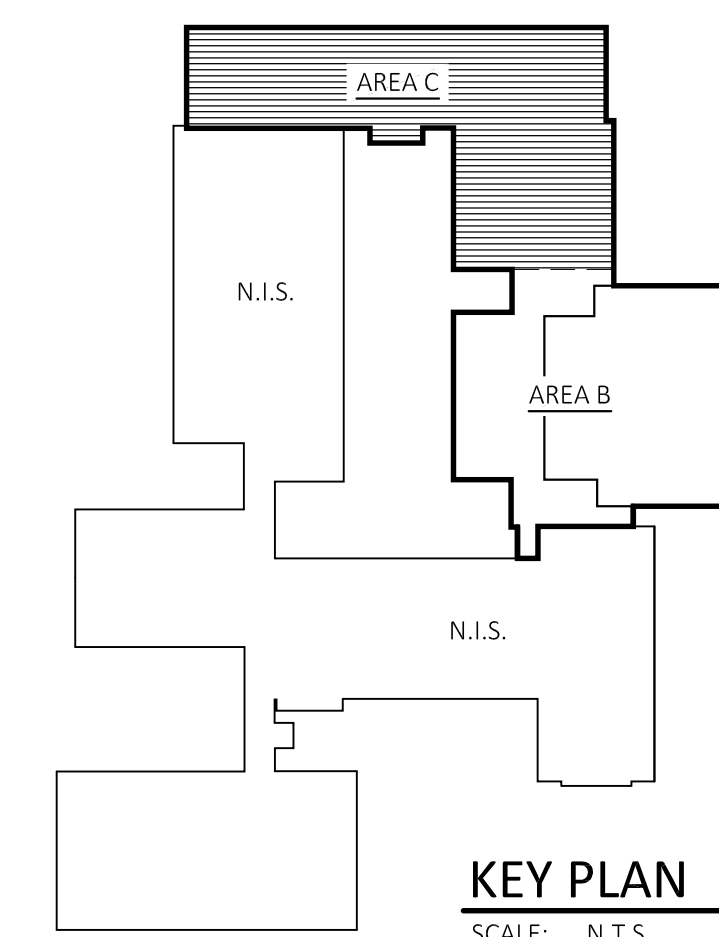
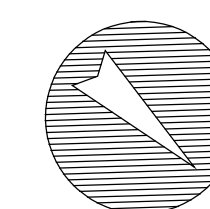
A3.2



SCALE: 1/8"=1'-0"

REFER TO SHEET NO. A3.1 ROOF PLAN AREA B FOR ROOF LEGEND

NOTE:
RETAIN ALL EXISTING COPPER: GUTTERS, SUPPORTS, HANGERS, DOWNSPOUTS, VALLEY FLASHING,
MISCELLANEOUS FLASHINGS. DORMER WALLS. APRON FLASHINGS





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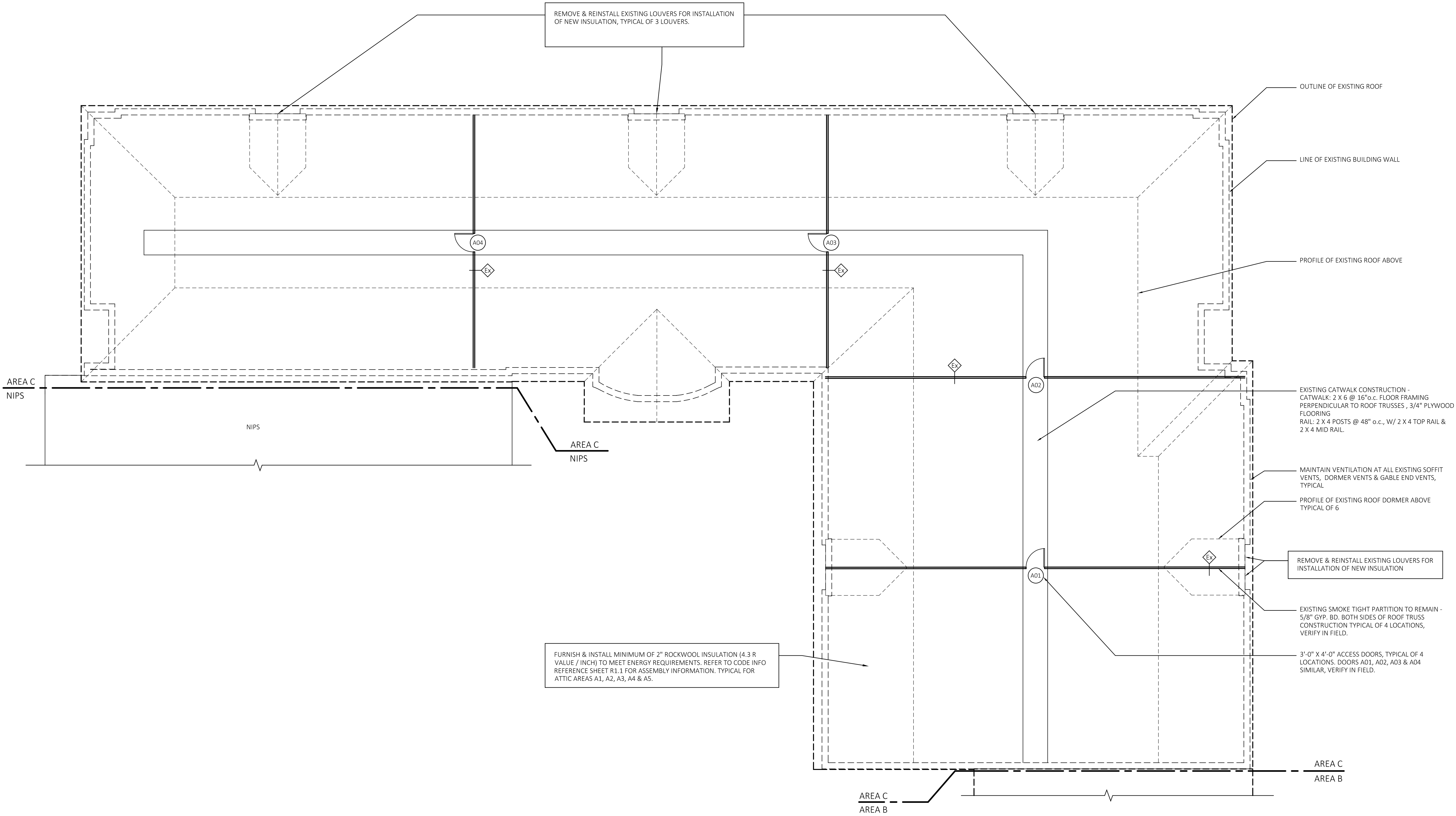
NO.	DATE	DESCRIPTION
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ATTIC PLAN - AREA C

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

SHEET NO.

A4.1

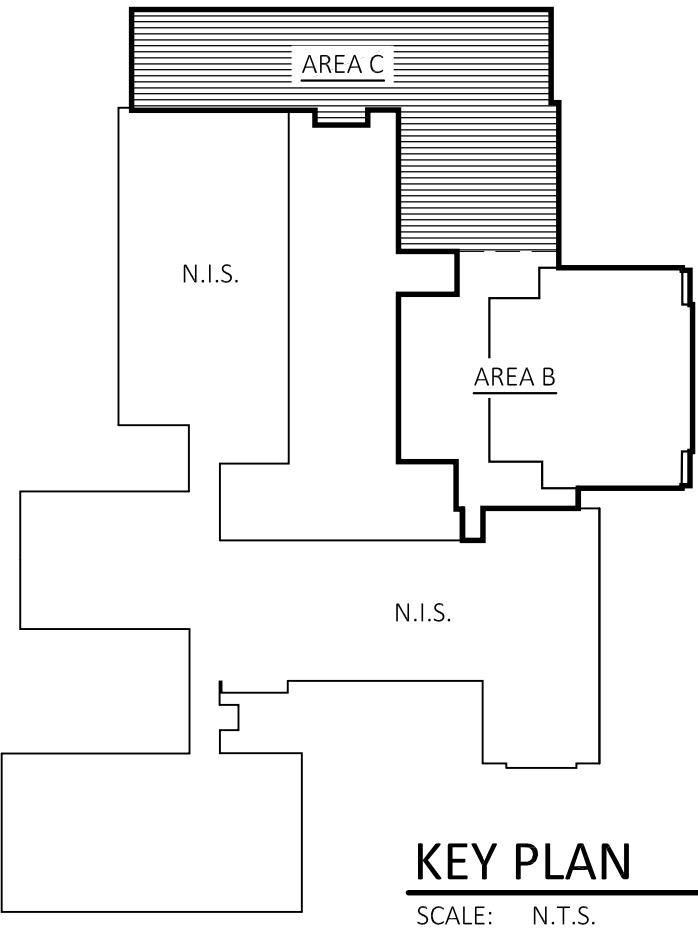
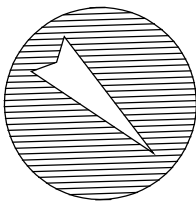


ATTIC PLAN - AREA C

SCALE: 1/8"=1'-0"

REFER TO SHEET NO. A3.2 ROOF PLAN AREA C FOR SCOPE OF ROOF REPLACEMENT

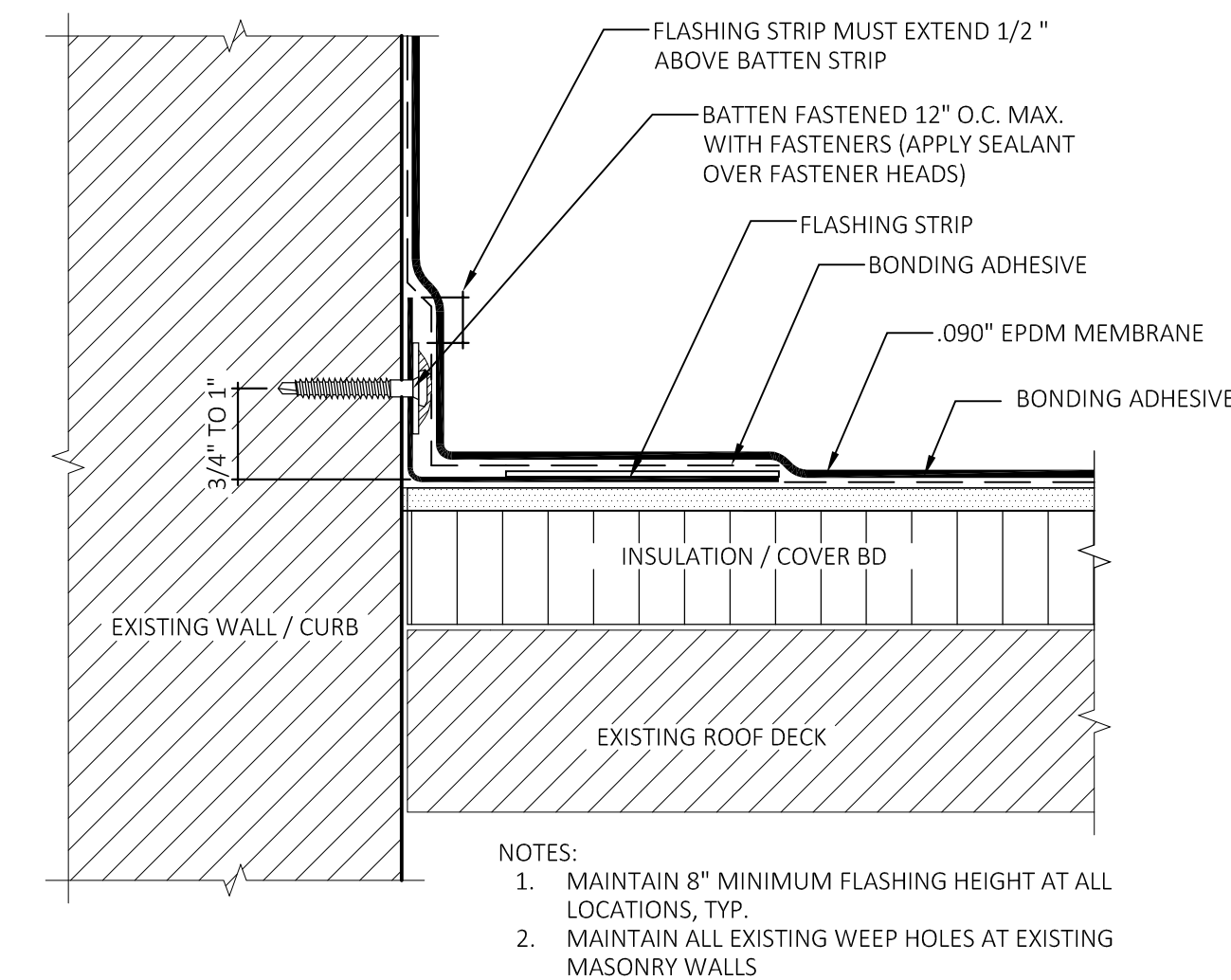
REFER TO SHEET NO. A0.1 ROOF KEY PLAN FOR OVERALL DIMENSIONS





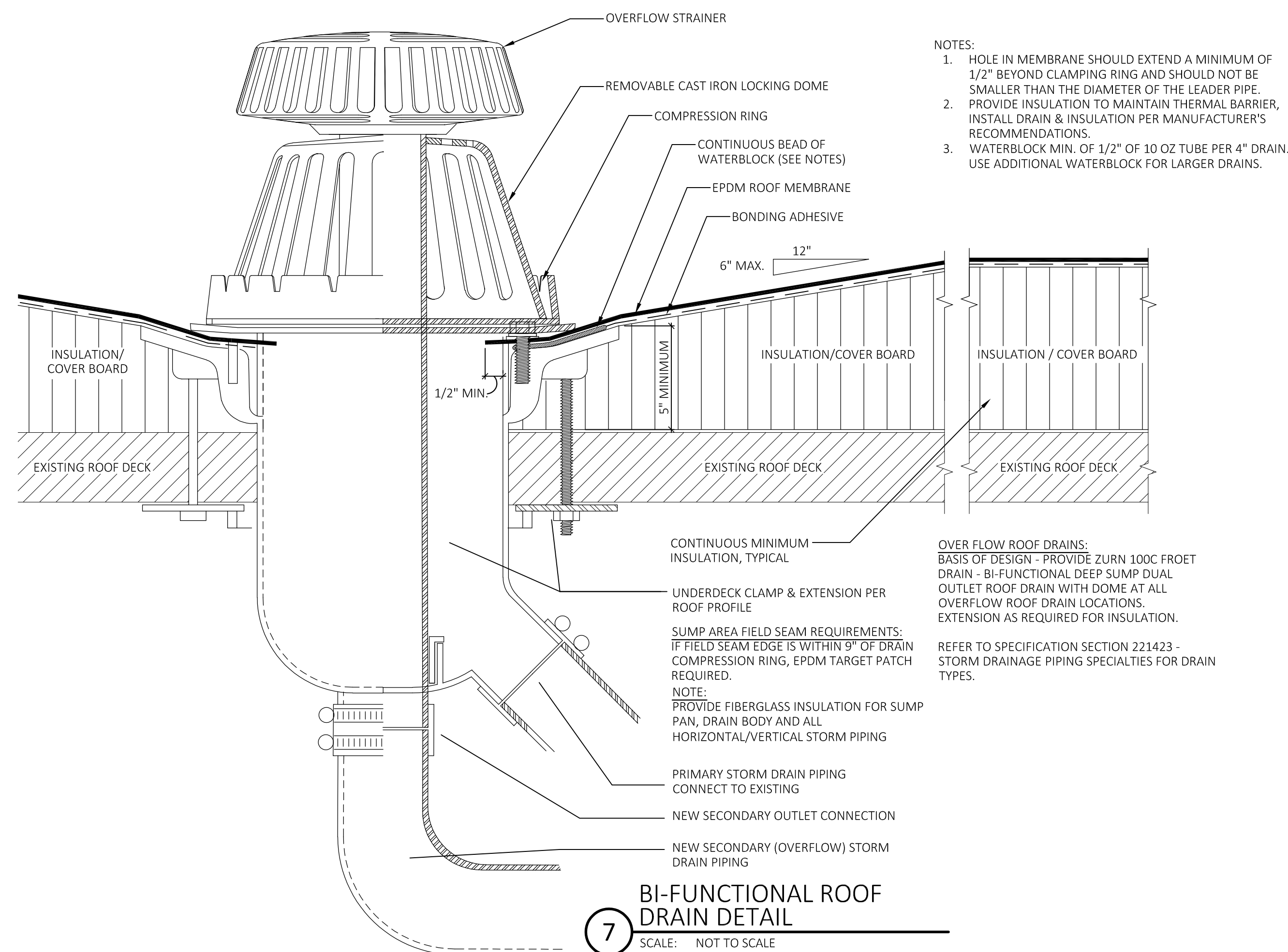
9 ROOF GUARDRAIL DETAIL

SCALE: NOT TO SCALE



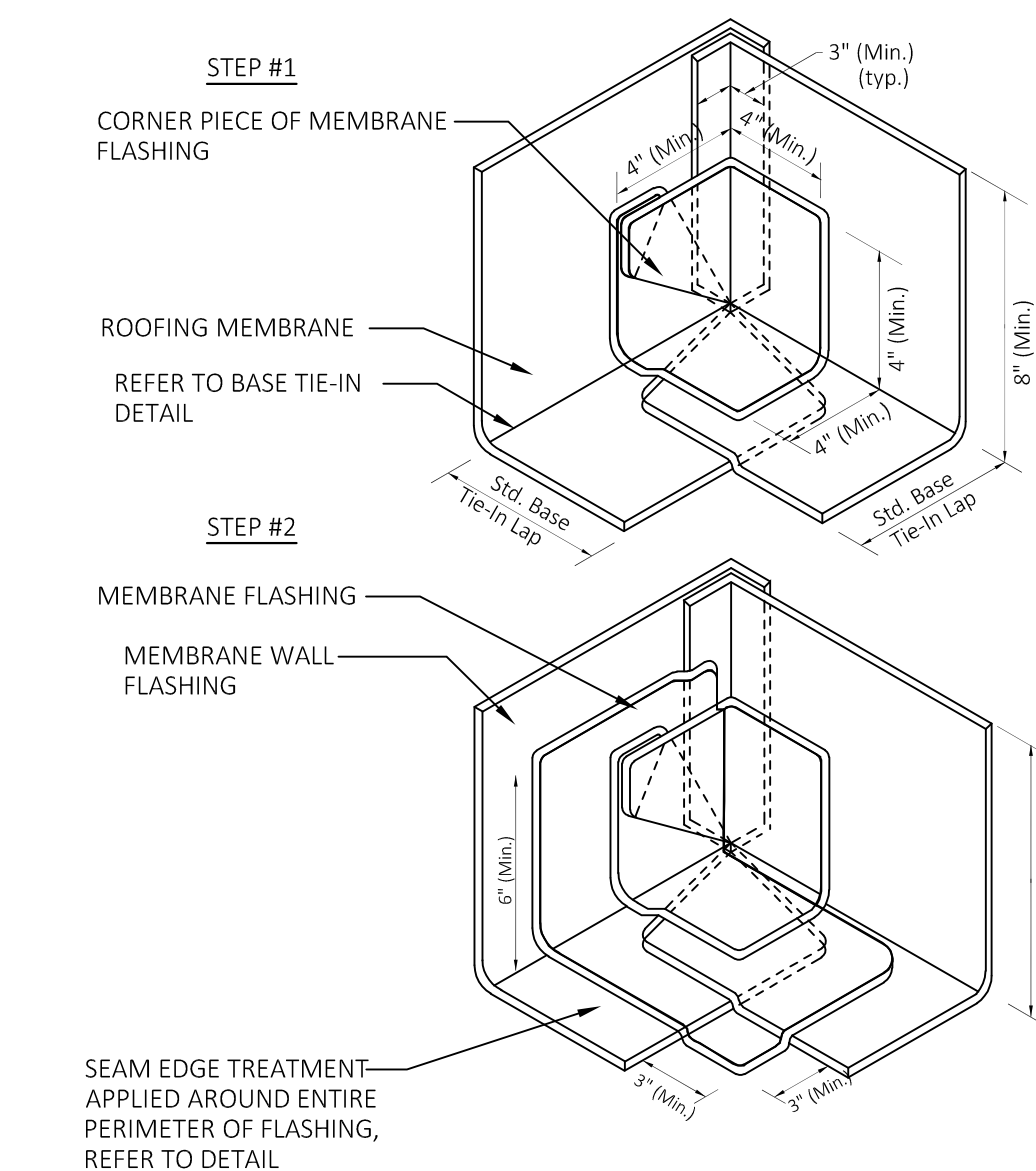
8 ALTERNATIVE ROOF WALL FLASHING DETAIL

SCALE: NOT TO SCALE



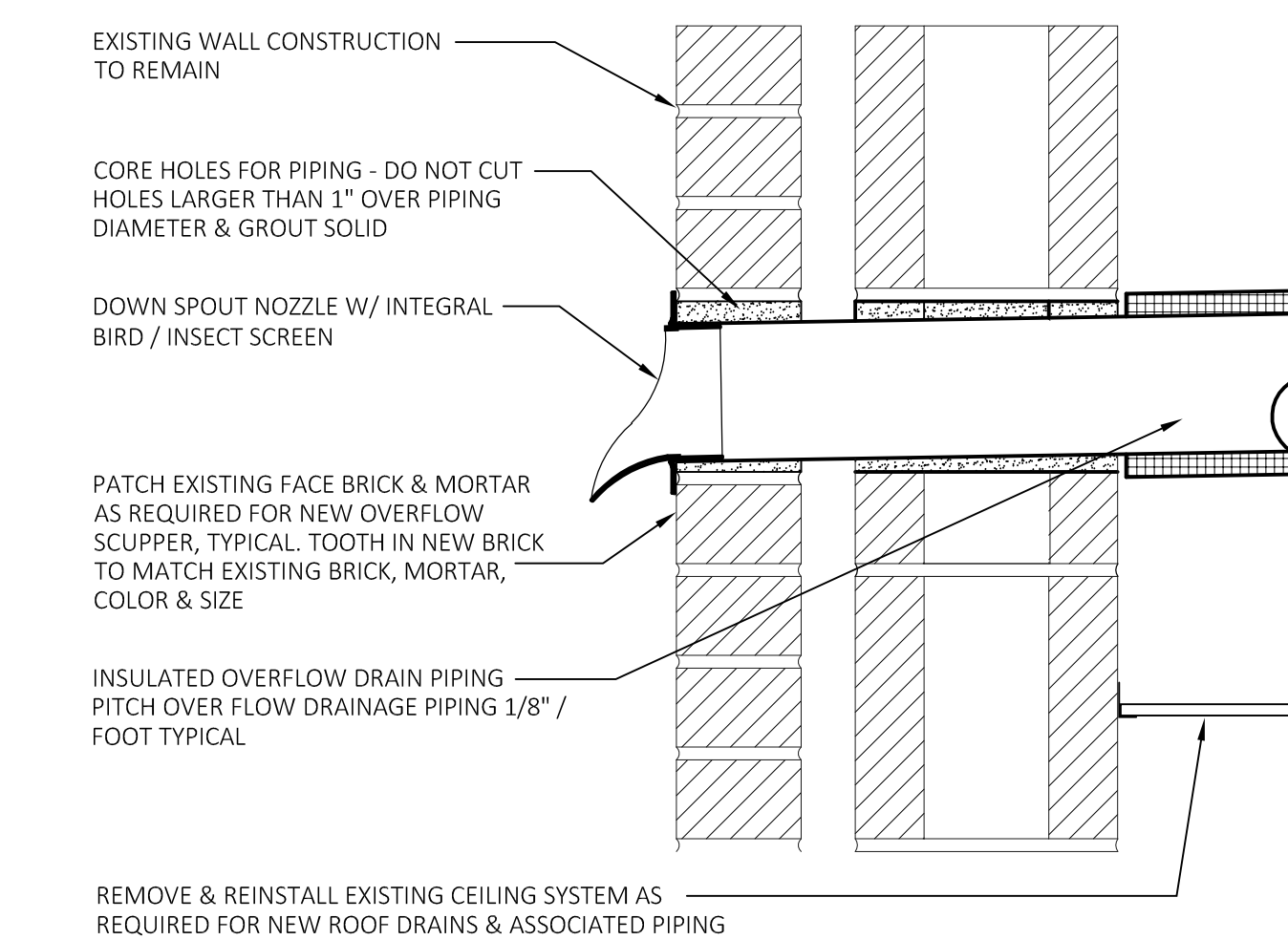
6 TYPICAL OUTSIDE CORNER FLASHING DETAIL

SCALE: NOT TO SCALE



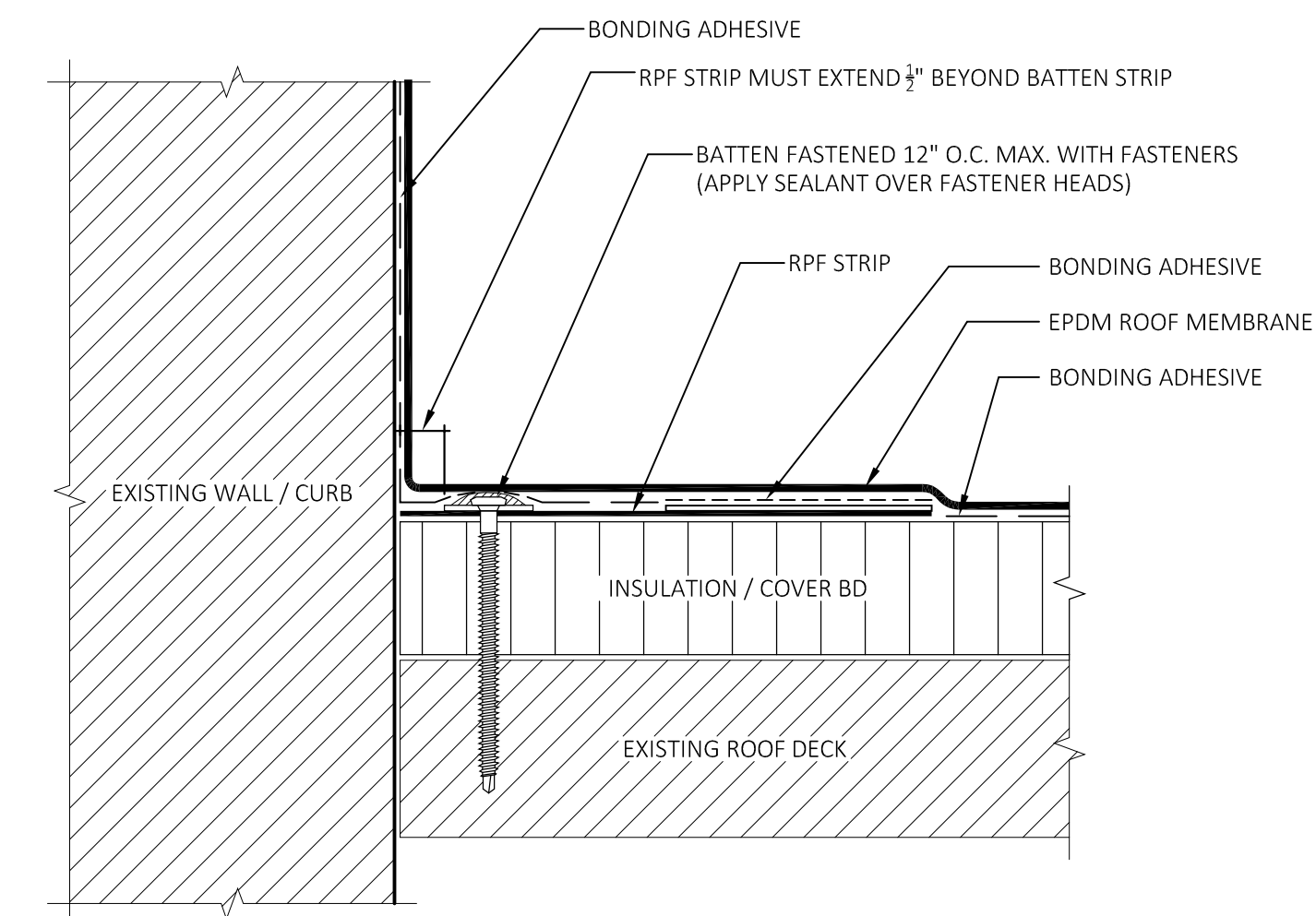
F TYPICAL INSIDE CORNER FLASHING DETAIL

SCALE: NOT TO SCALE



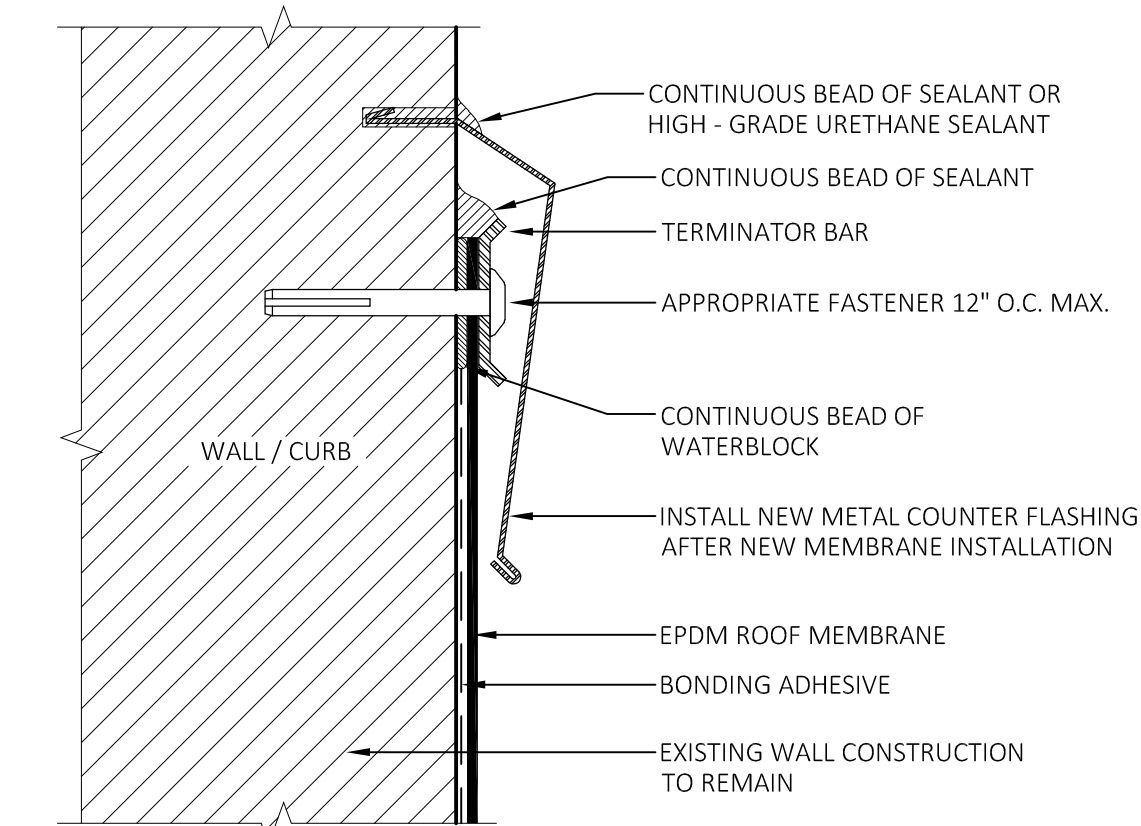
4 THROUGH WALL SECONDARY ROOF DRAIN DETAIL

SCALE: NOT TO SCALE



3 TYPICAL ROOF / WALL FLASHING DETAIL

SCALE: NOT TO SCALE

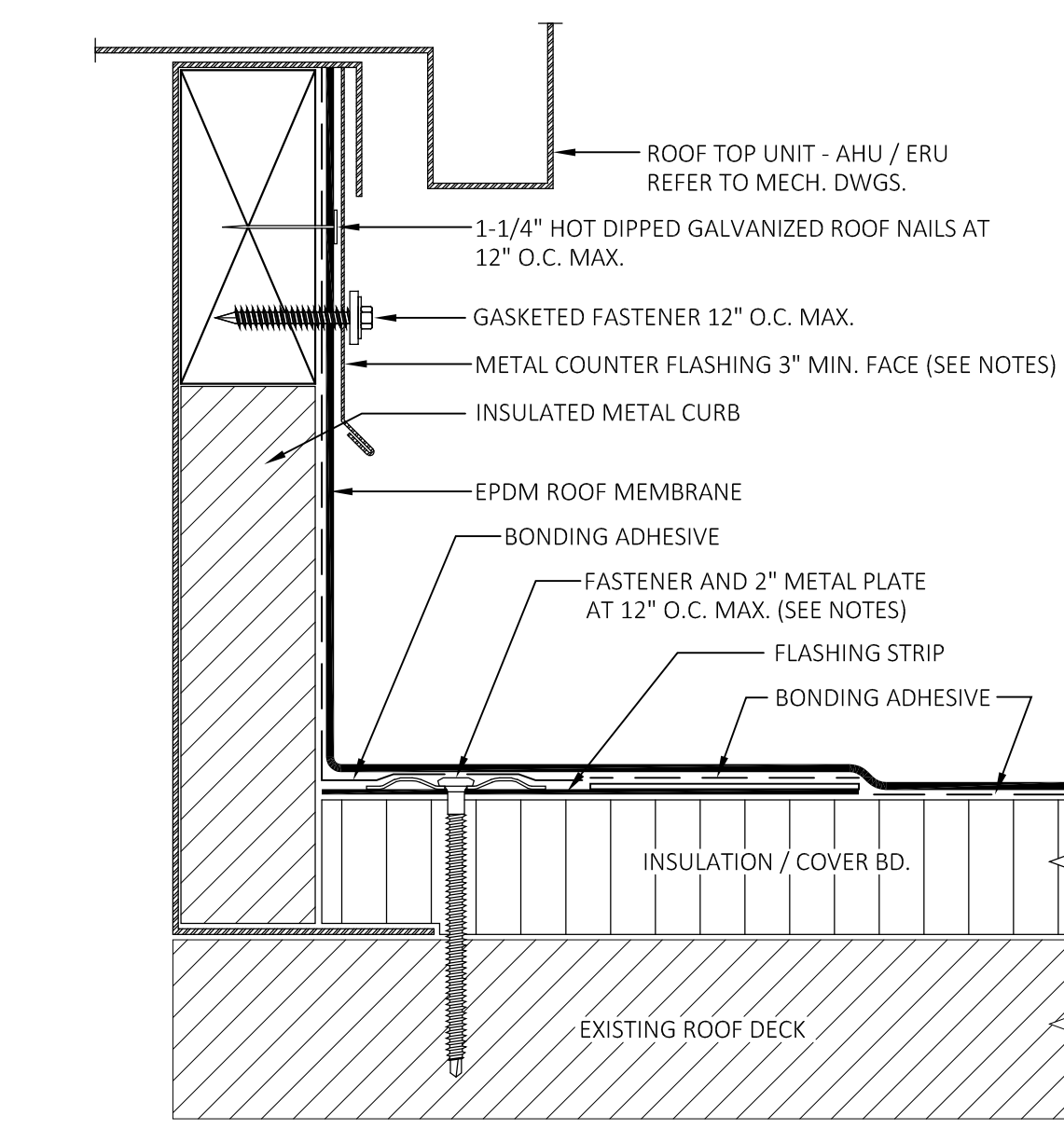


NOTES:

1. WATER BOLD APPLIED AT THE RATE OF 10 LINEAR FEET PER TUBE.
2. METAL COUNTER FLASHING SHALL BE .032" MIN. ALUMINUM FORMED WITH HEMMED LOWER EDGE.
3. INSTALL TERMINATION BAR WITH $\frac{1}{2}$ " (6.4 mm) GAP BETWEEN ADJOINING SECTIONS.
4. TERMINATION BAR MUST BE CUT AT INSIDE AND OUTSIDE CORNERS.
5. TERMINATION BAR MUST BE FASTENED WITHIN 1" MAX. OF ALL SECTION ENDS.
6. MAINTAIN 8" MINIMUM FLASHING HEIGHT AT ALL LOCATIONS, TYPICAL
7. MAINTAIN ALL EXISTING WEEP HOLES AT EXISTING MASONRY WALLS

2 MASONRY WALL TERMINATION DETAIL

SCALE: NOT TO SCALE



NOTES:

1. NAILING METAL COUNTER FLASHING IS NOT REQUIRED IF MEMBRANE IS RUN UP AND OVER CURB WALLS PRIOR TO INSTALLATION OF ROOF TOP EQUIPMENT
2. METAL COUNTER FLASHING SHALL BE .032" MIN. ALUMINUM FORMED WITH HEMMED LOWER EDGE MOUNTED TIGHTLY TO UNDERSIDE OF MECHANICAL UNIT.
3. MAXIMUM 6" LONG FASTENERS.
4. MAINTAIN 8" MINIMUM FLASHING HEIGHT AT ALL LOCATIONS, TYPICAL
5. COORDINATE INSULATION HEIGHTS W/ EXISTING EQUIPMENT CURBS, TYPICAL

1 CURB FLASHING DETAIL

SCALE: NOT TO SCALE

[illegible]

ROOF DETAILS

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

SHEET NO.

A5.1

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STATE PROJECT NO. 067-0043 RR

REVISIONS

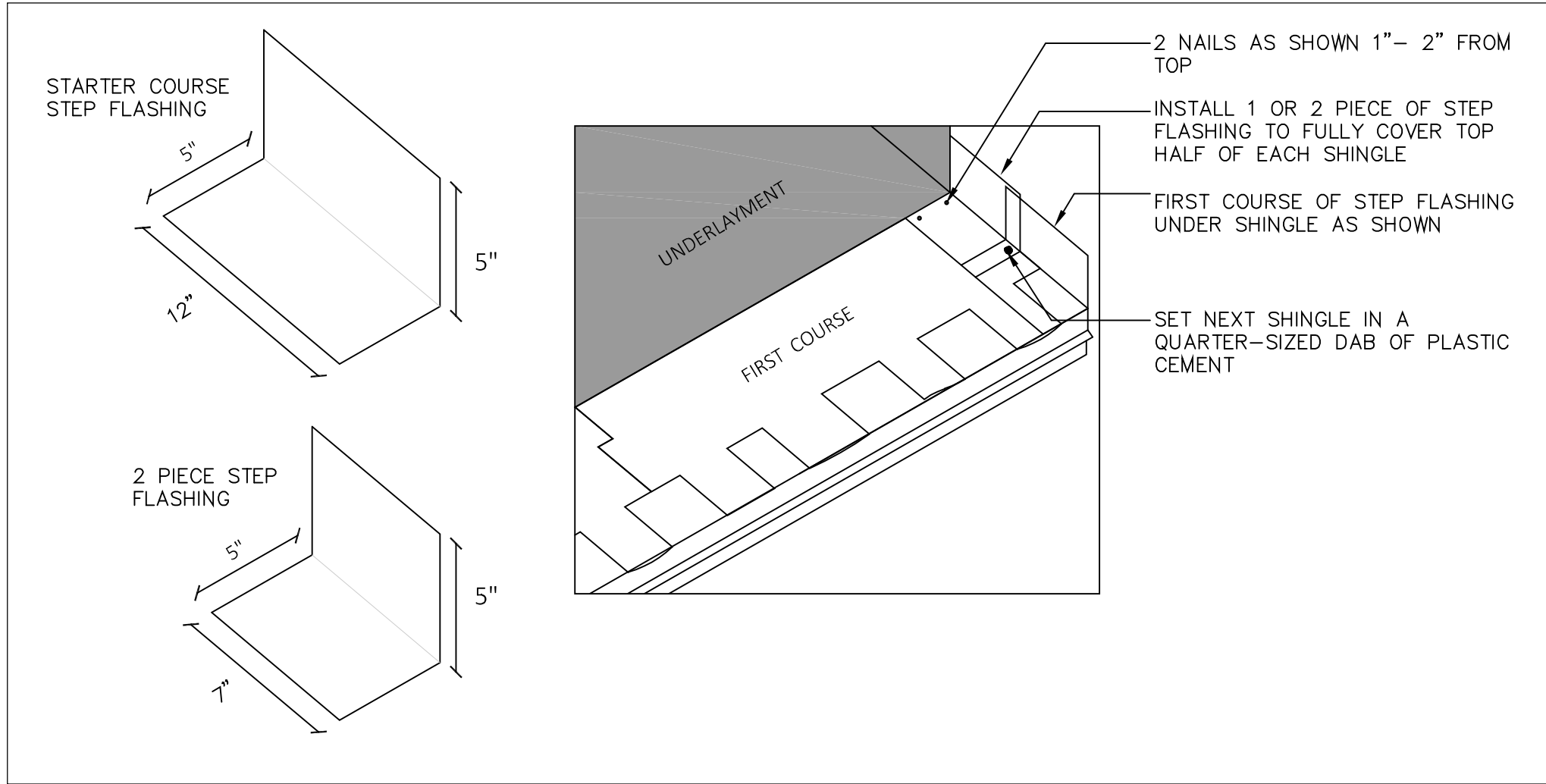
NO.	DATE	DESCRIPTION
	4/14/25	ISSUED TO BID

ROOF DETAILS

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

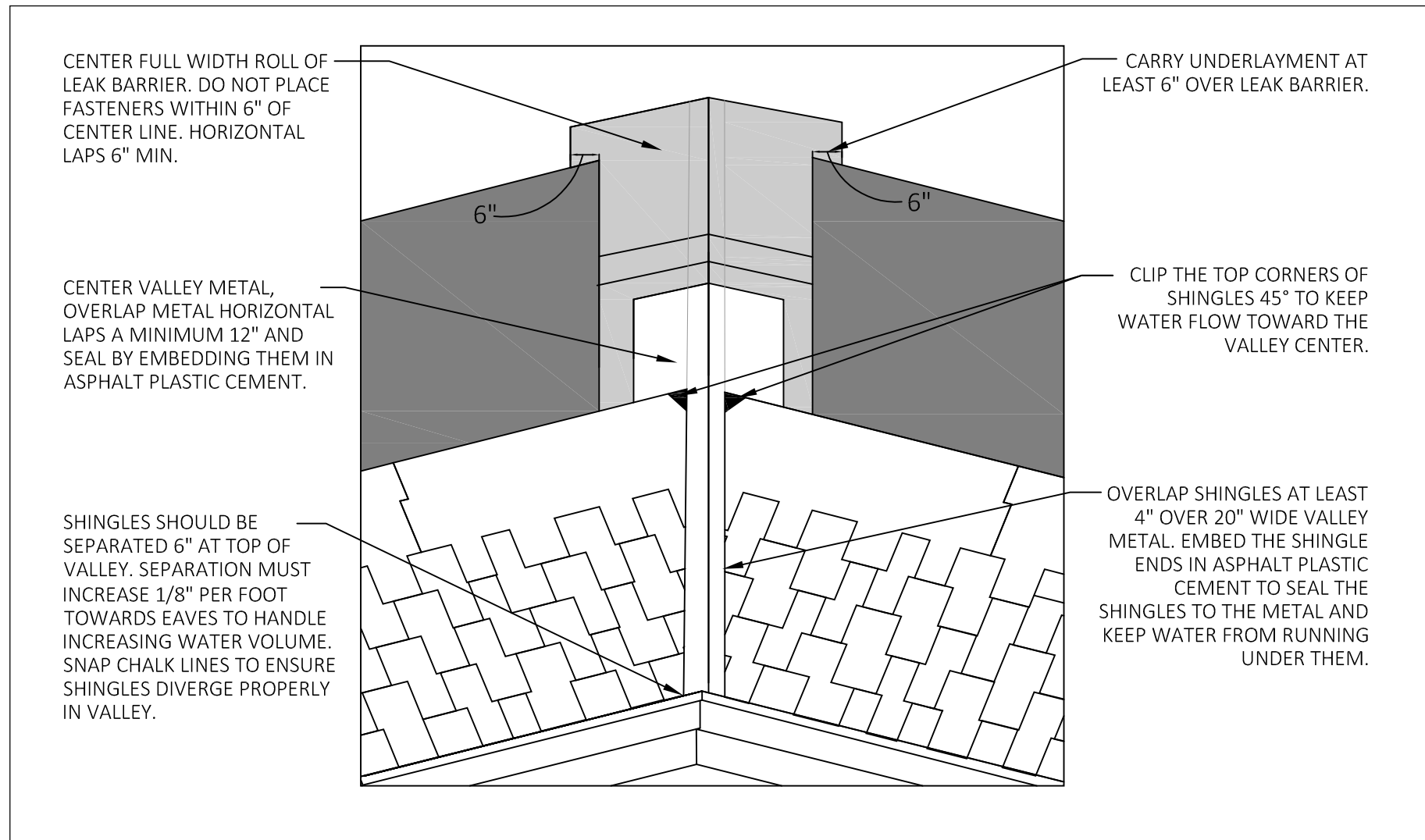
SHEET NO.

A5.2



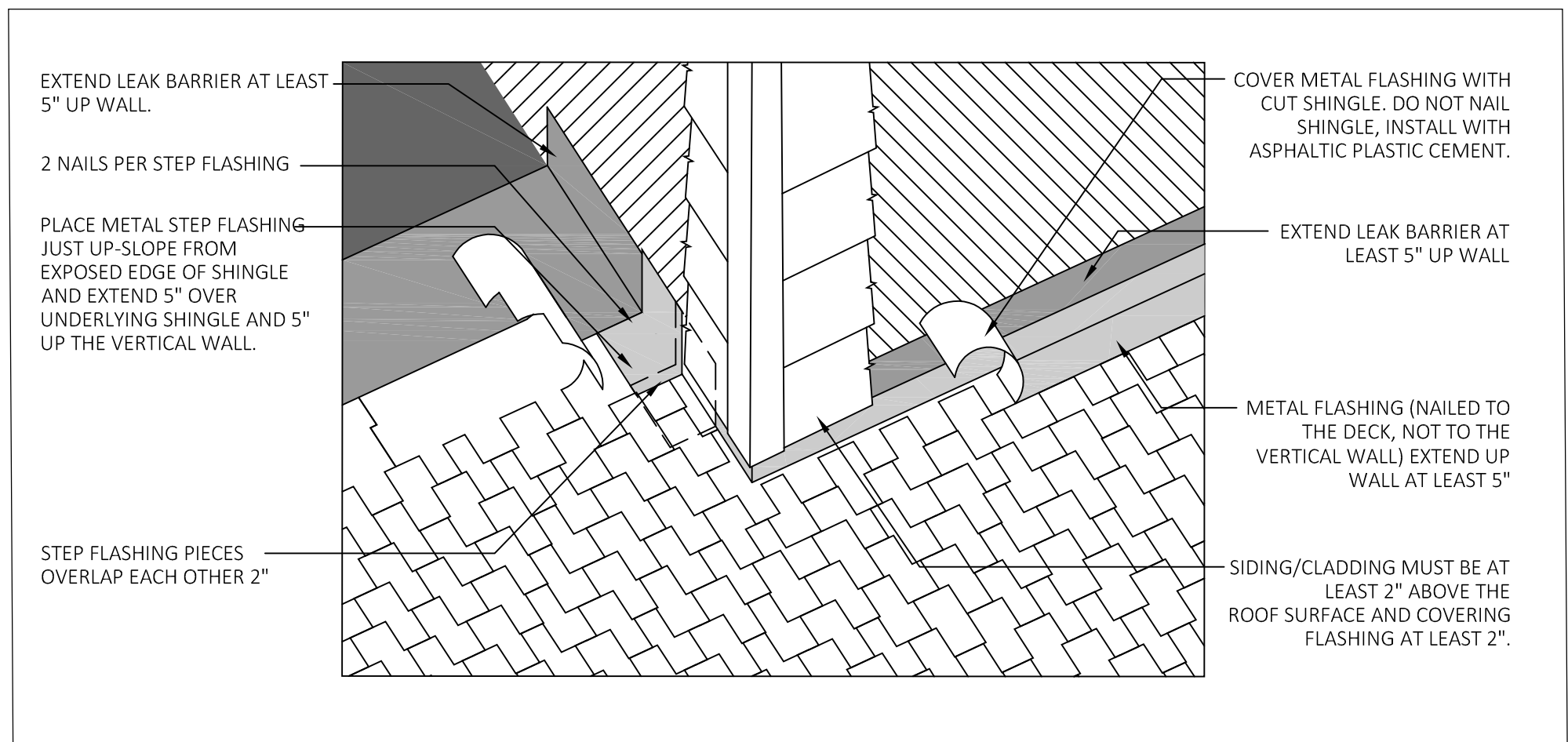
6 STEP FLASHING DETAIL

SCALE: NOT TO SCALE



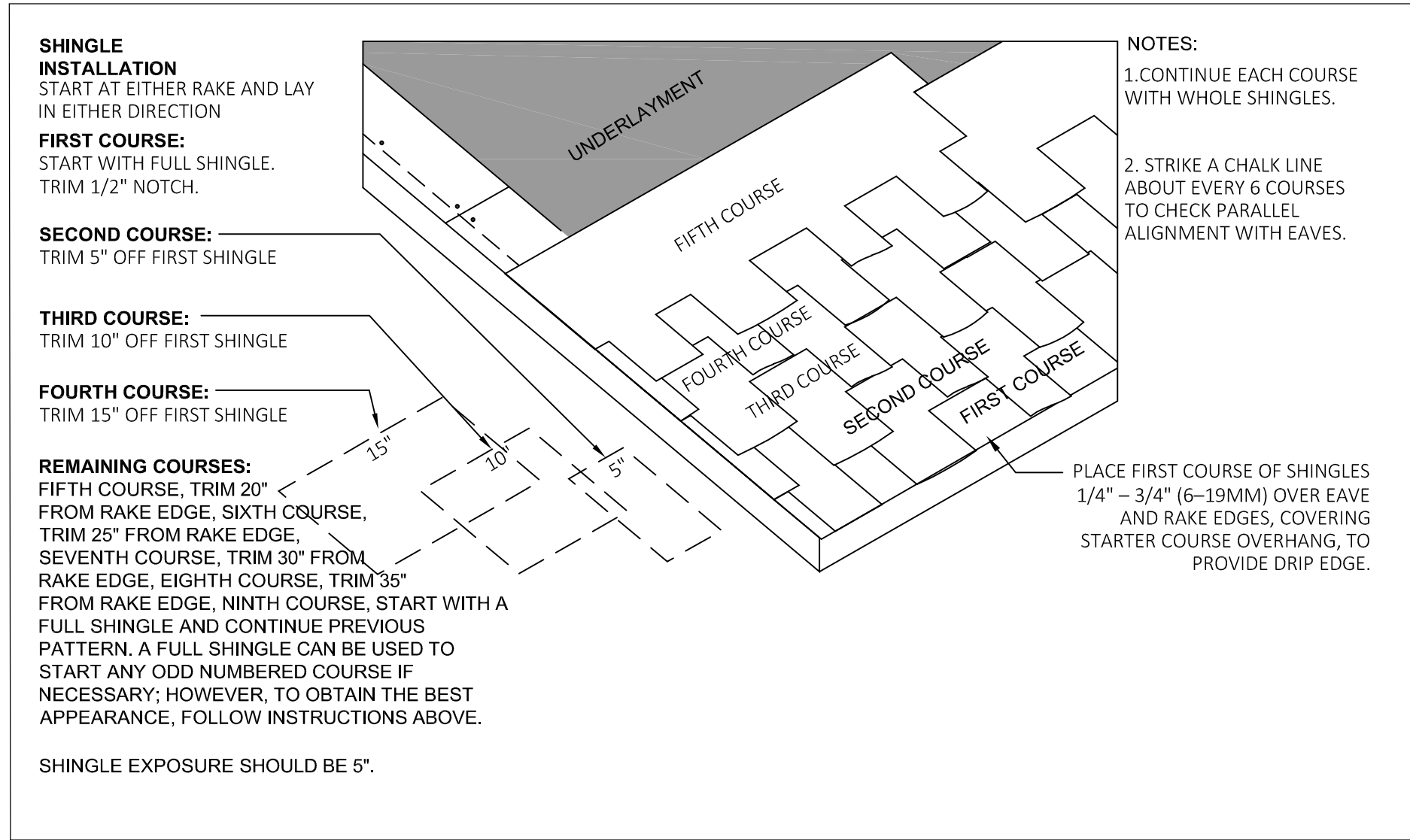
5 OPEN VALLEY DETAIL

SCALE: NOT TO SCALE



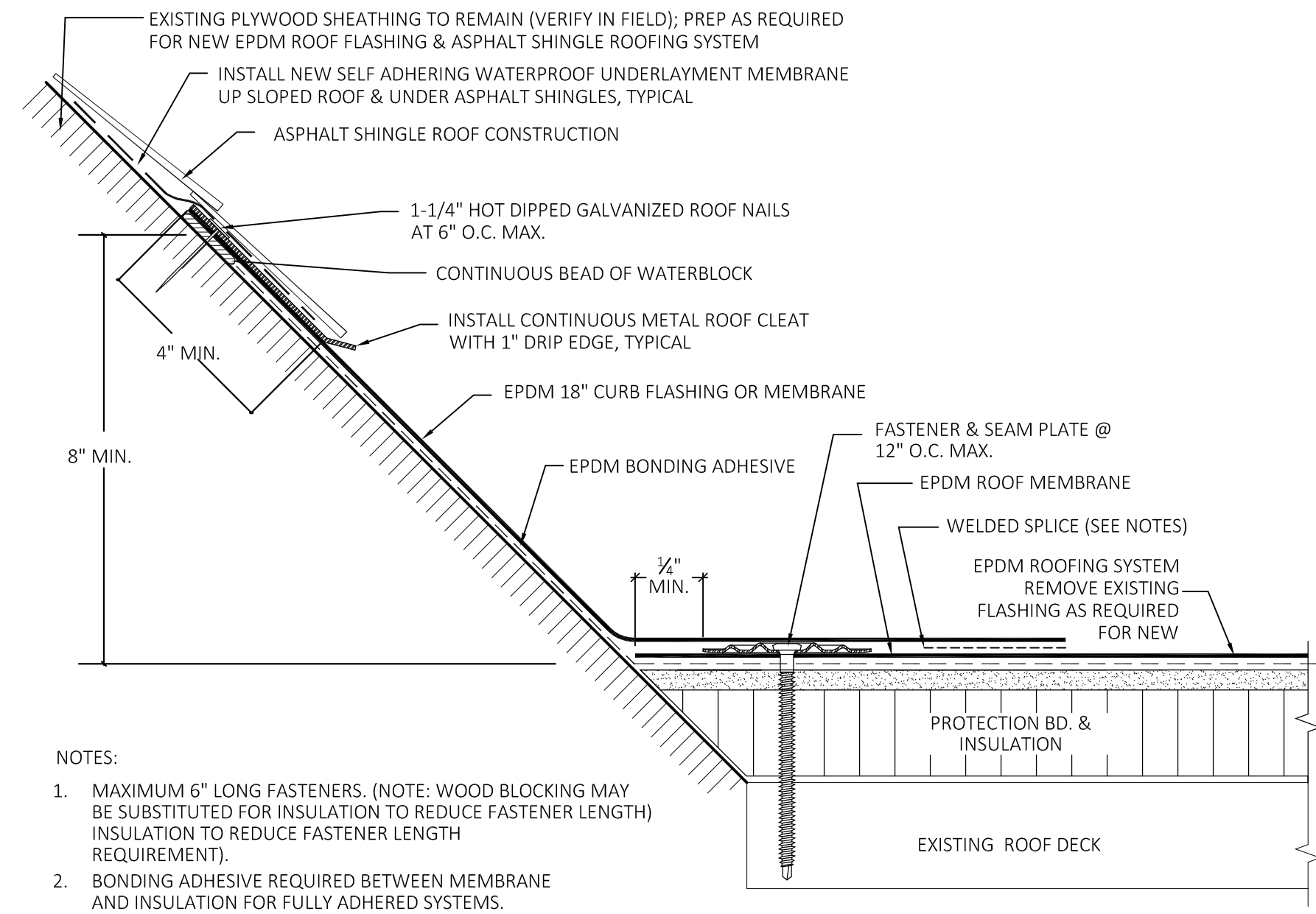
4 WALL FLASHING DETAIL

SCALE: NOT TO SCALE



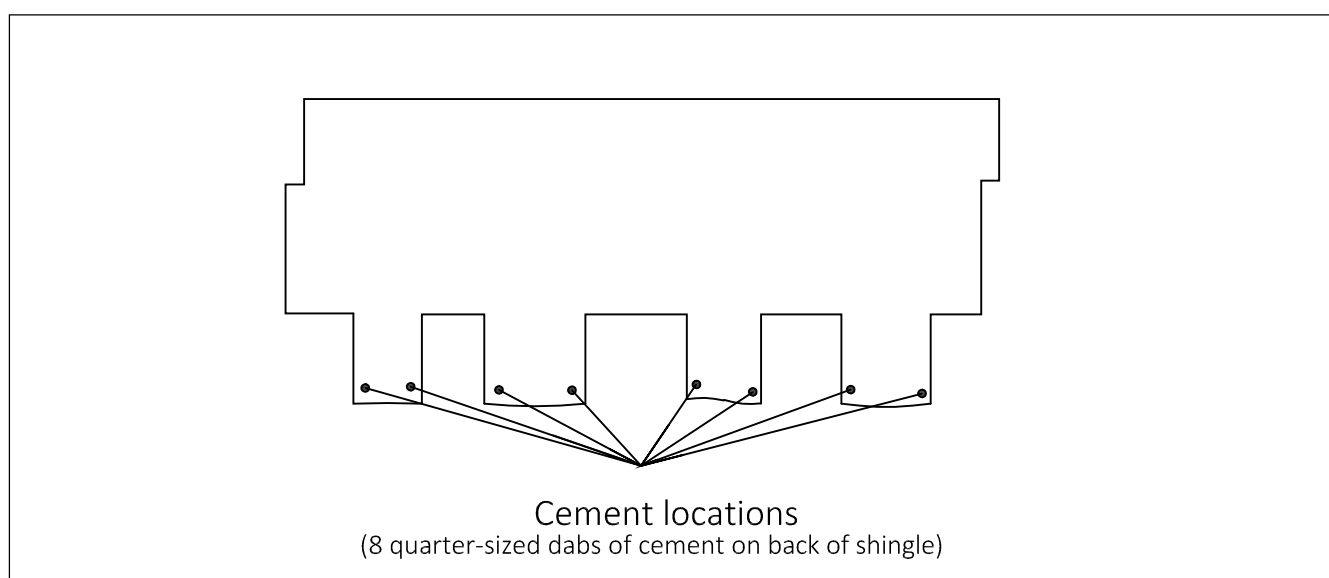
3 SHINGLE INSTALL DETAIL

SCALE: NOT TO SCALE



2 TRANSITION FLASHING DETAIL AT SHINGLE / EPDM ROOFING SYSTEM

SCALE: NOT TO SCALE



1 SHINGLE CEMENT LOCATIONS

SCALE: NOT TO SCALE

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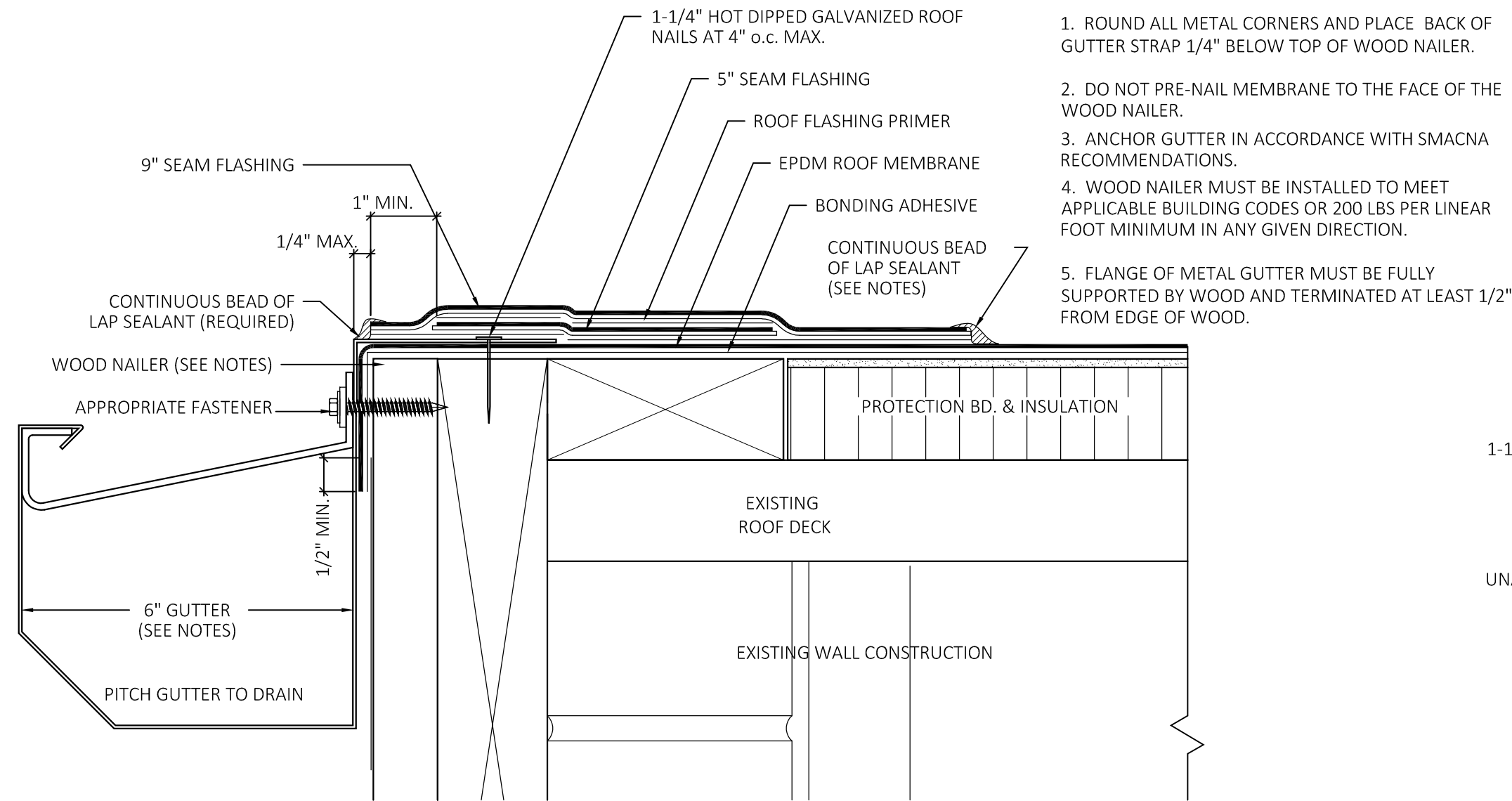
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	4/14/25	ISSUED TO BID

ROOF DETAILS

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

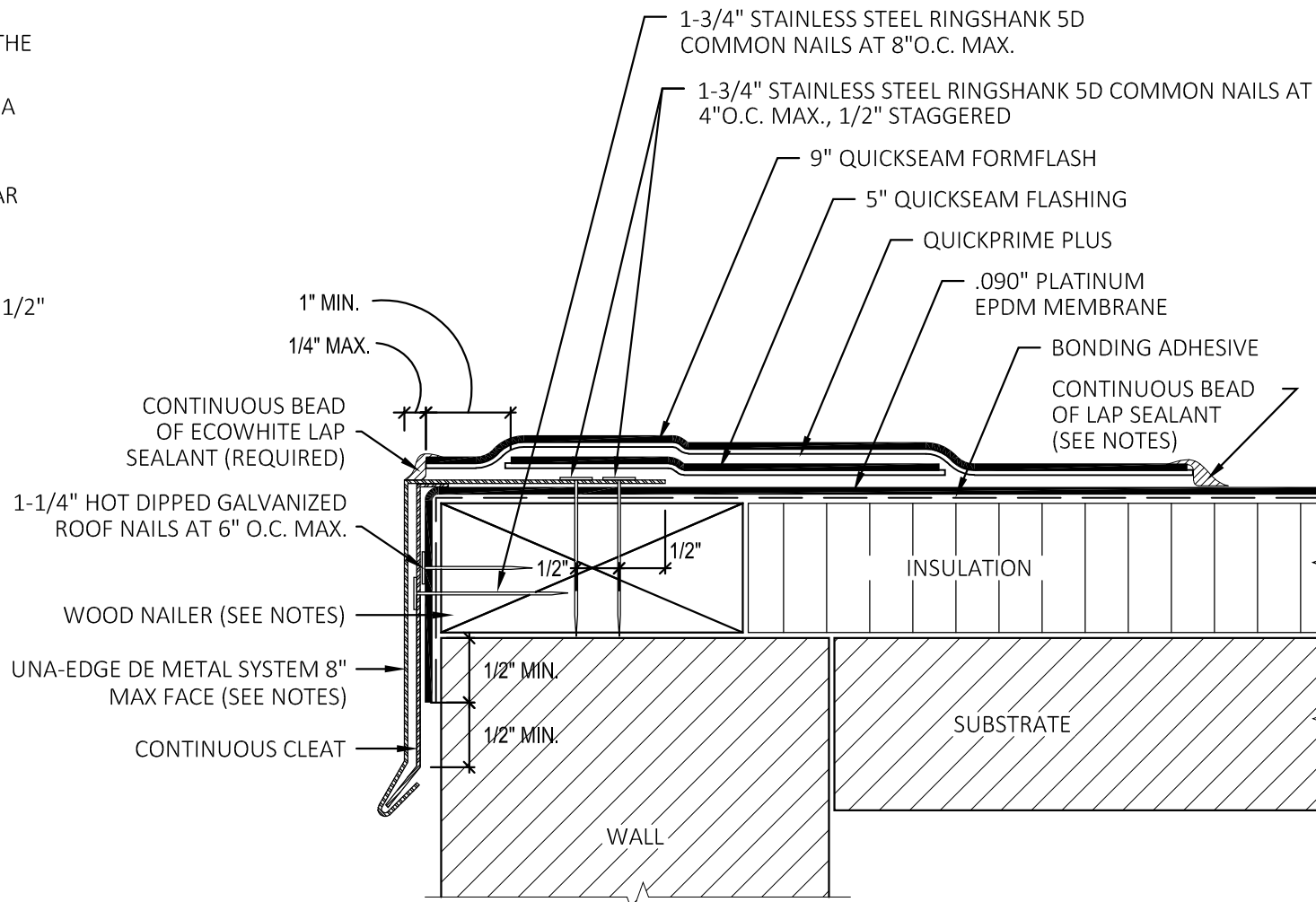
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A5.3



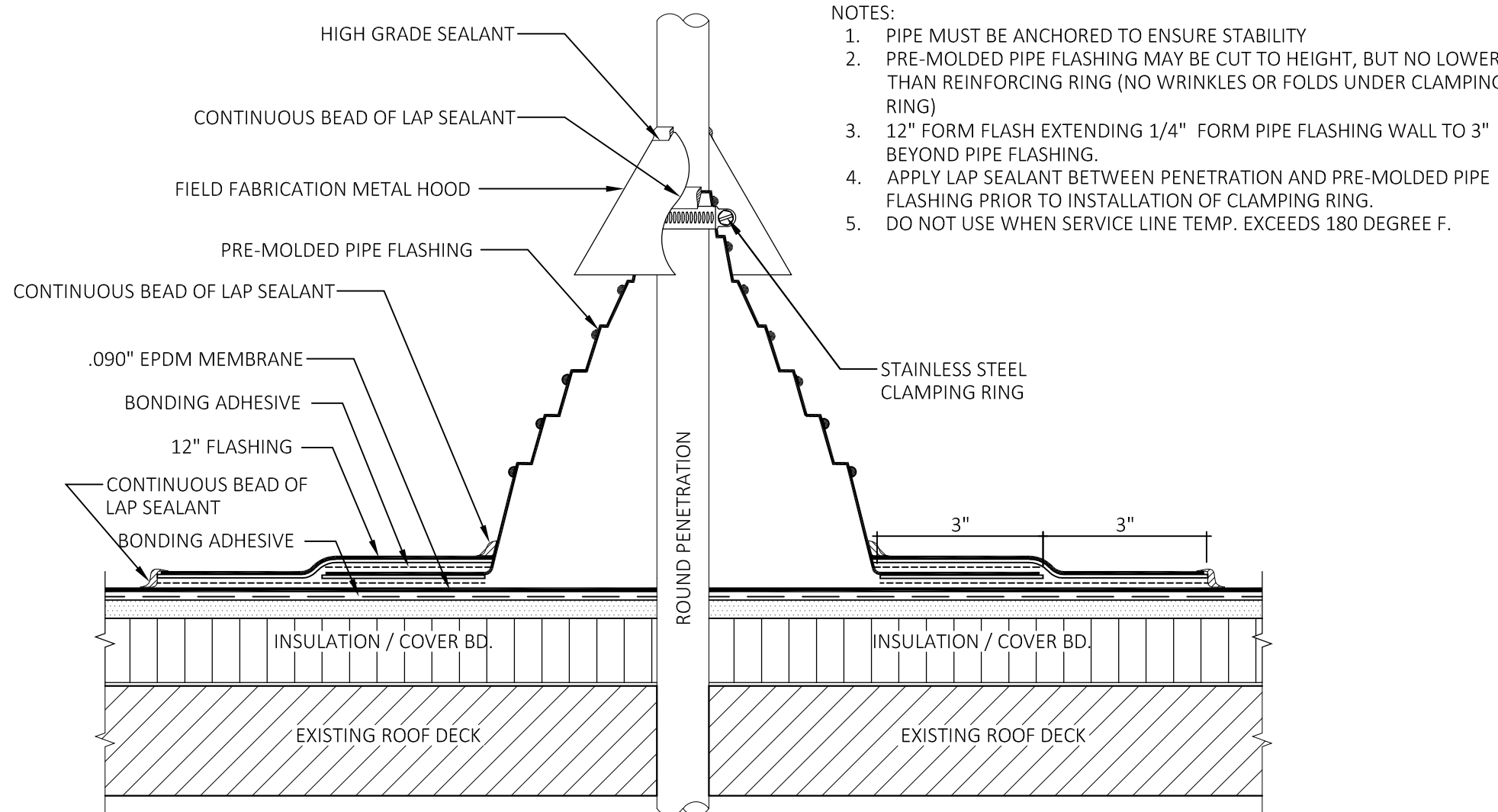
9 ROOF GUTTER DETAIL

SCALE: 1 1/2"=1'-0"



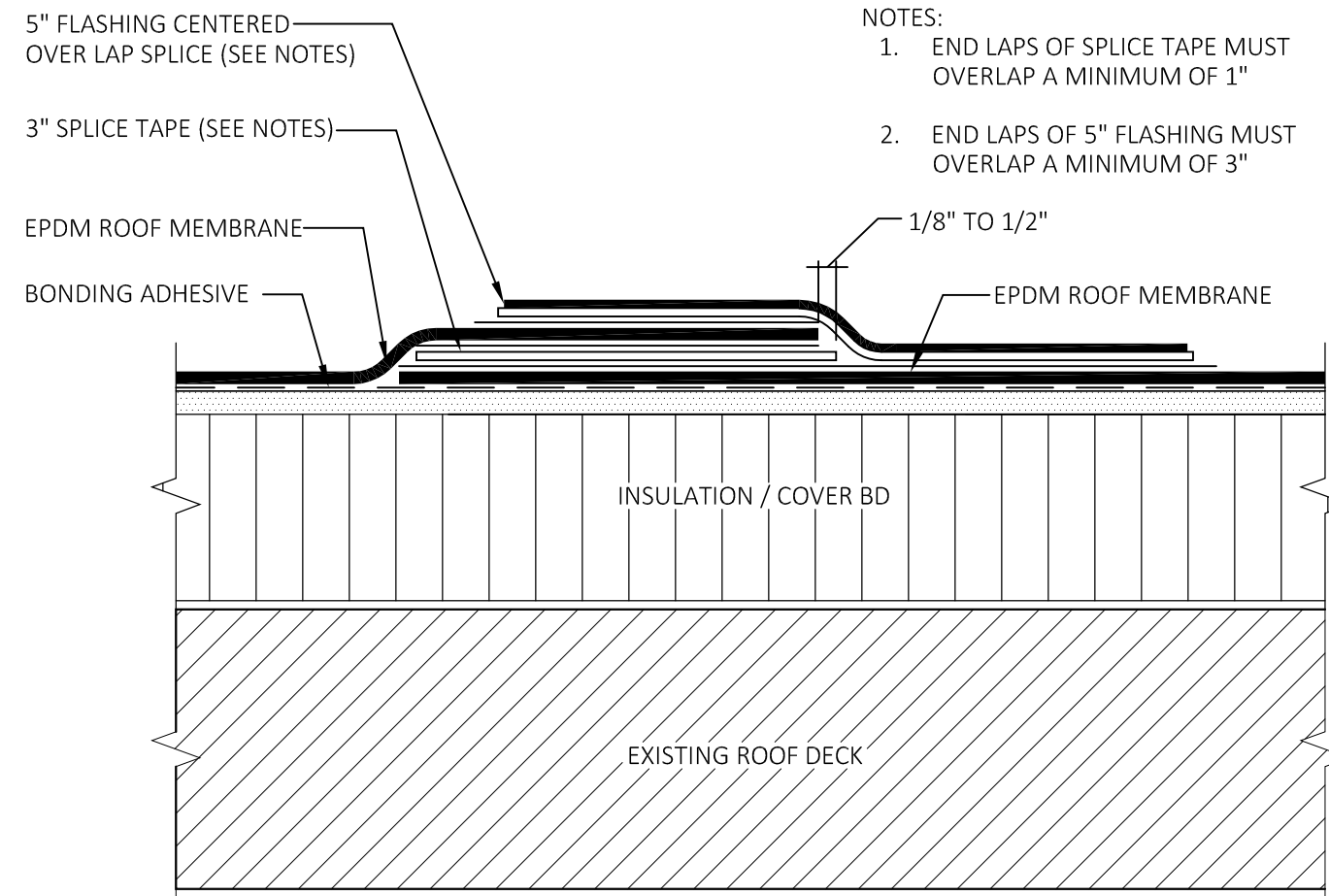
6 ROOF EDGE FLASHING DETAIL

SCALE: 1 1/2"=1'-0"



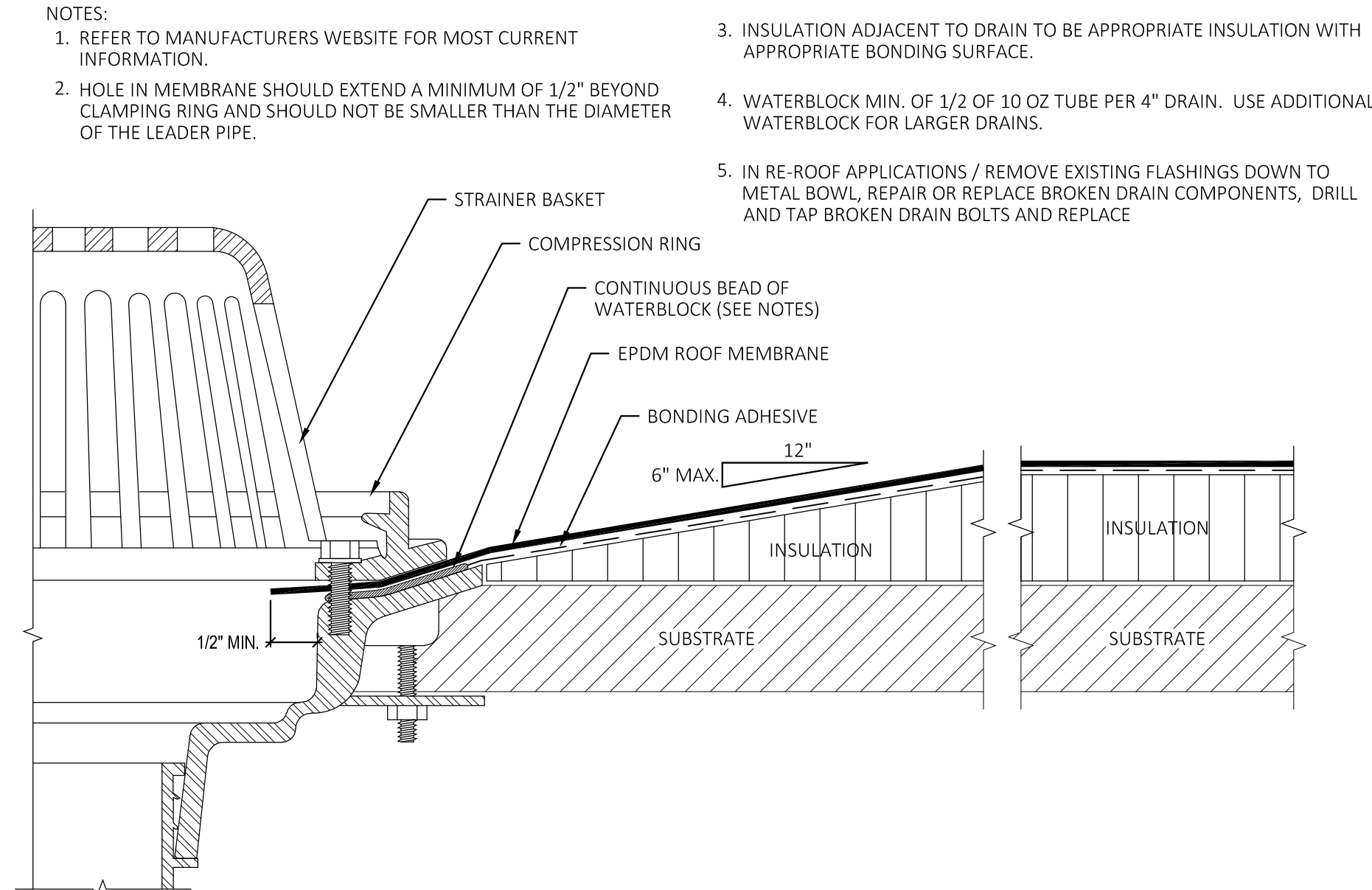
8 PIPE PENTRATION DETAIL

SCALE: NOT TO SCALE



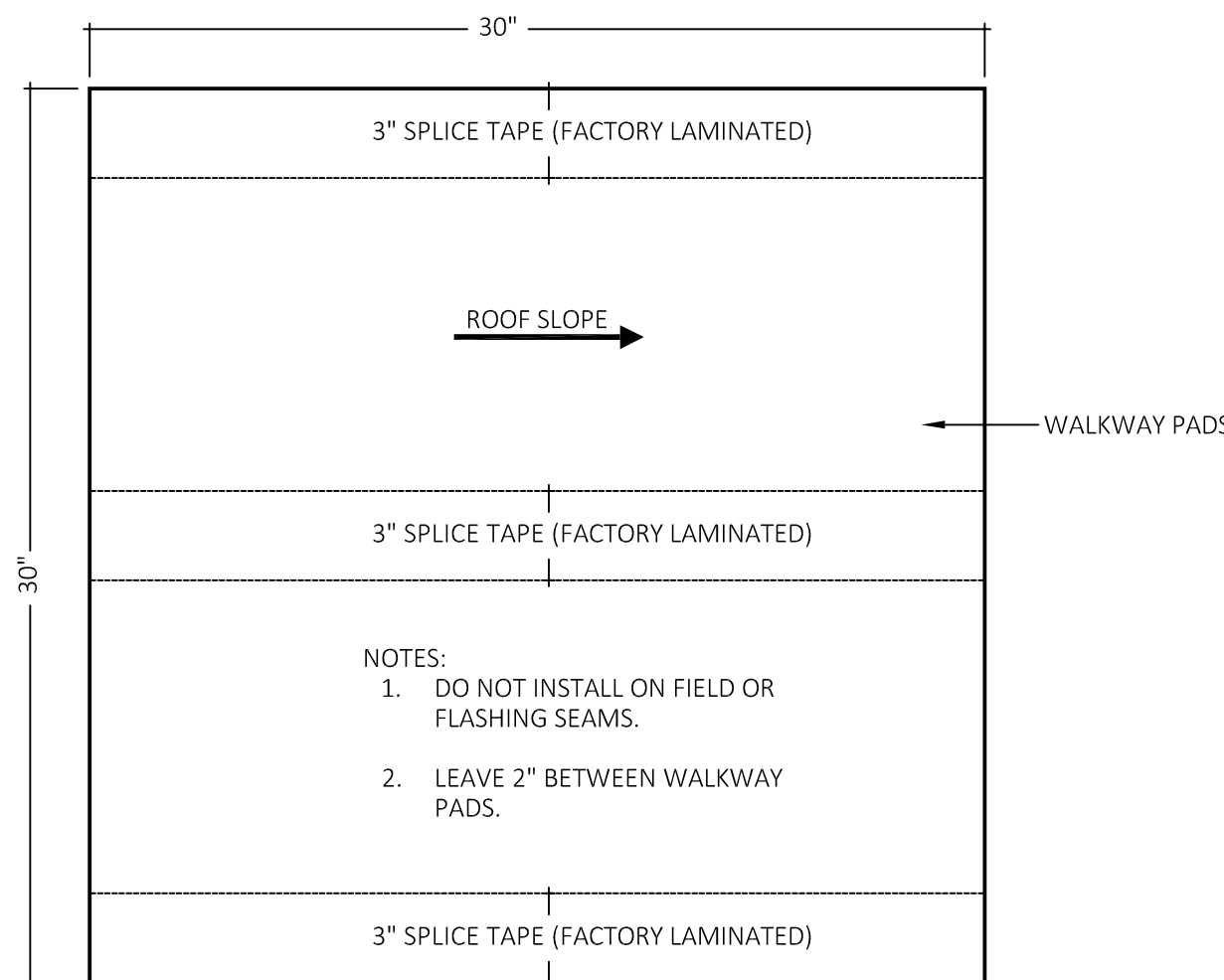
5 TYPICAL LAP SPLICE DETAIL

SCALE: NOT TO SCALE



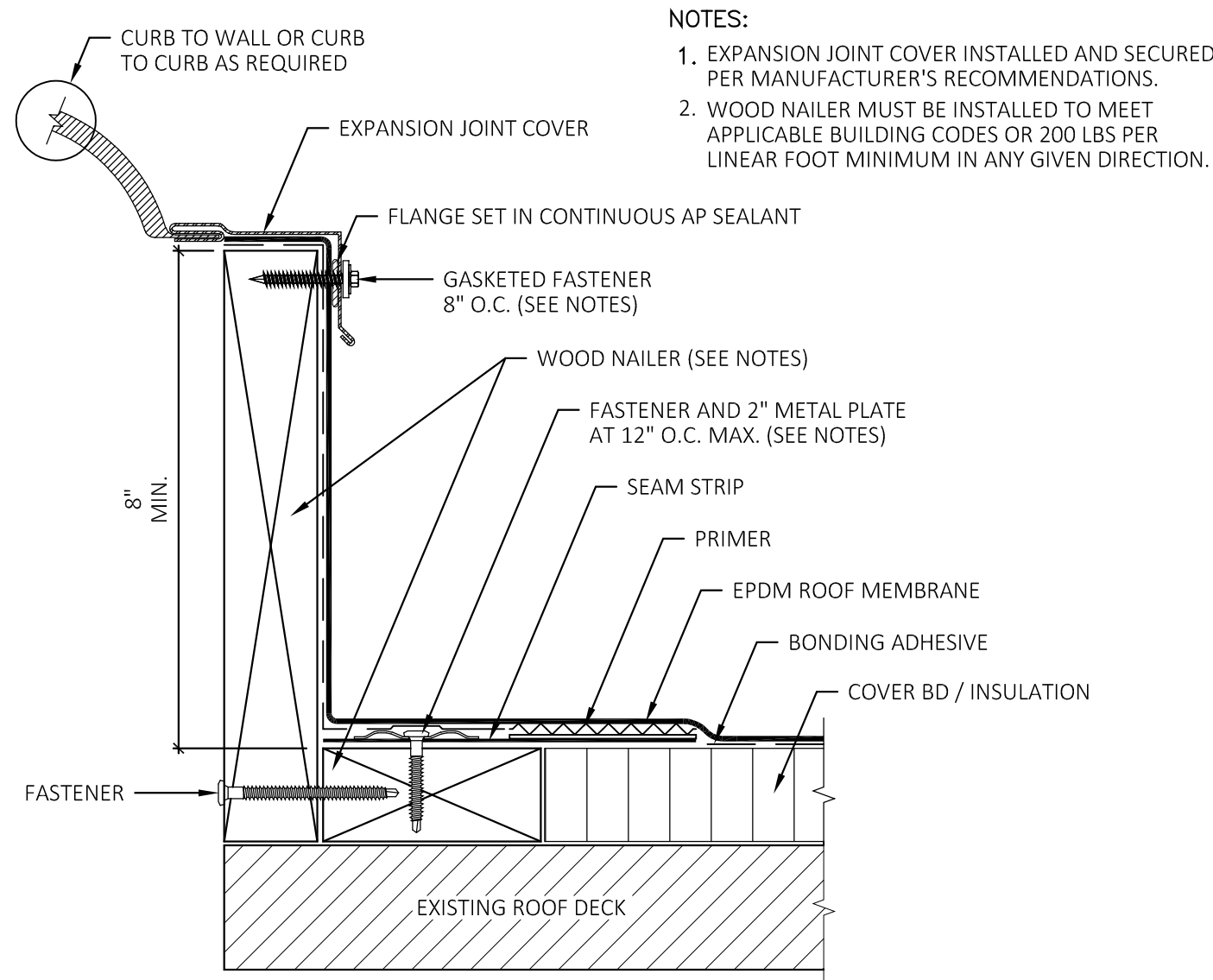
2 ROOF DRAIN DETAIL

SCALE: 1 1/2"=1'-0"



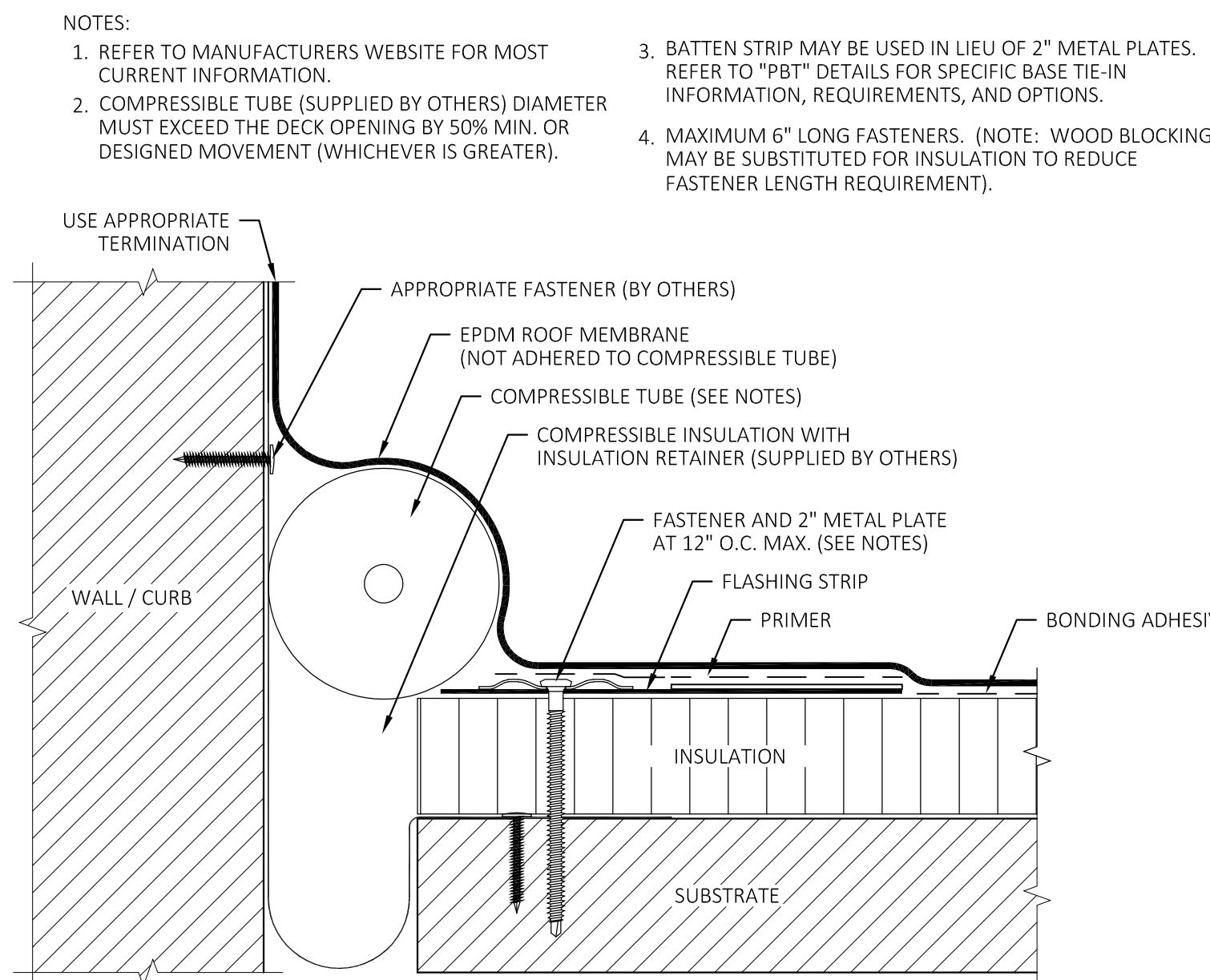
7 ROOF WALKWAY PAD DETAIL

SCALE: NOT TO SCALE



4 ROOF EXPANSION JOINT DETAIL

SCALE: 1 1/2"=1'-0"



1 ROOF EXPANSION JOINT DETAIL

SCALE: 1 1/2"=1'-0"

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HEBRON ELEMENTARY SCHOOL

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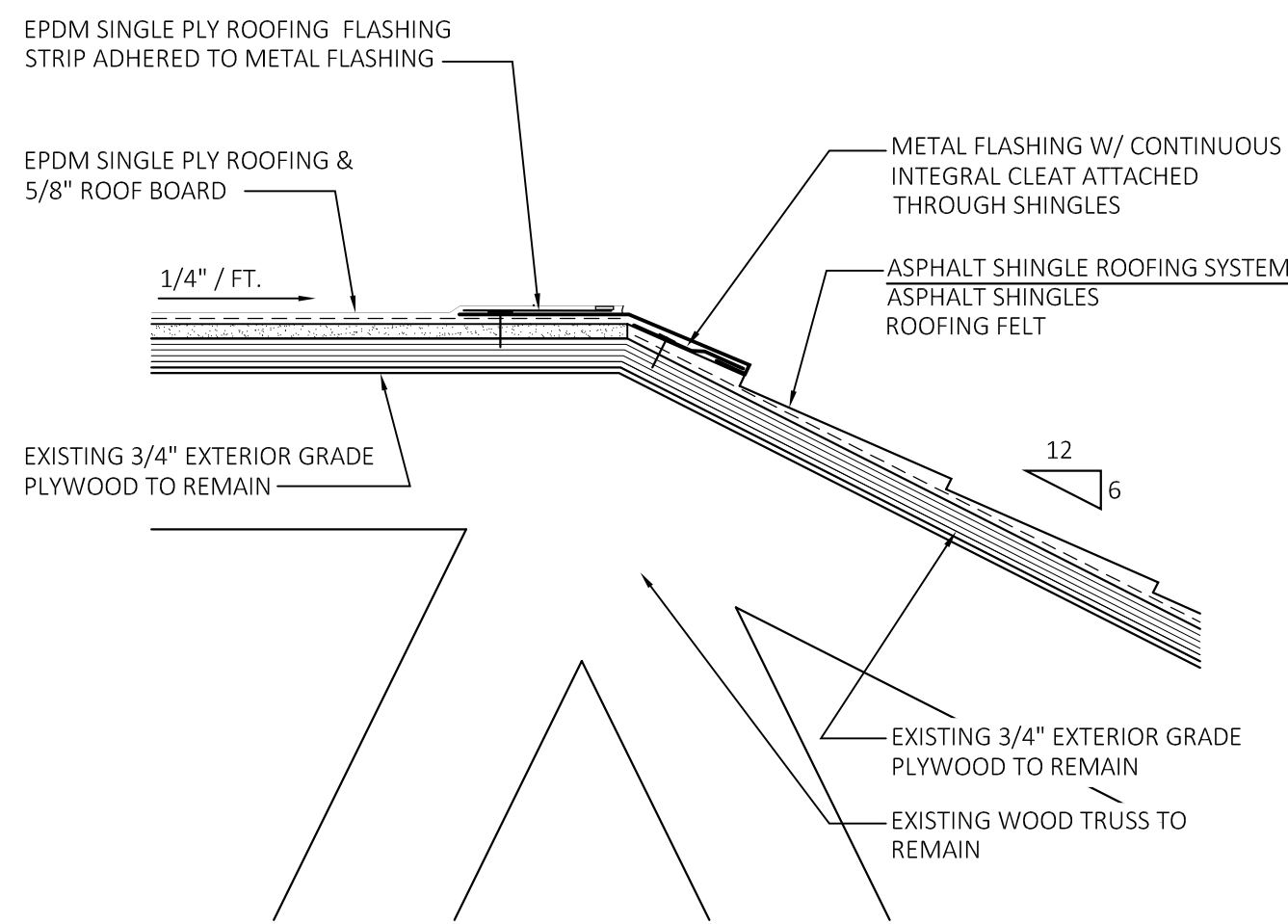
NO.	DATE	DESCRIPTION
	4/14/25	ISSUED TO BID

ROOF DETAILS

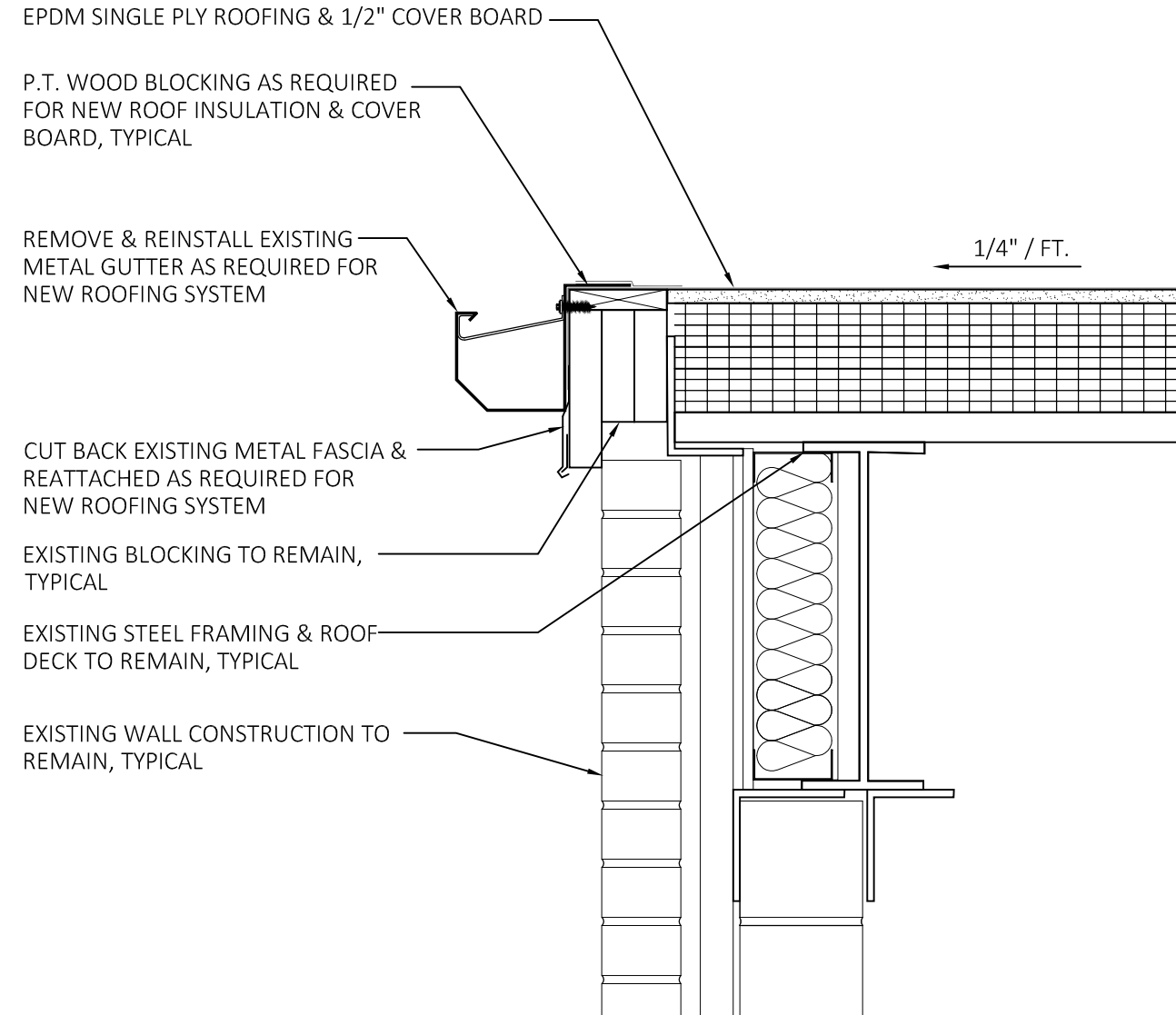
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PROJ. #: 2024-022A
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CHECKED: RWR

SHEET NO.

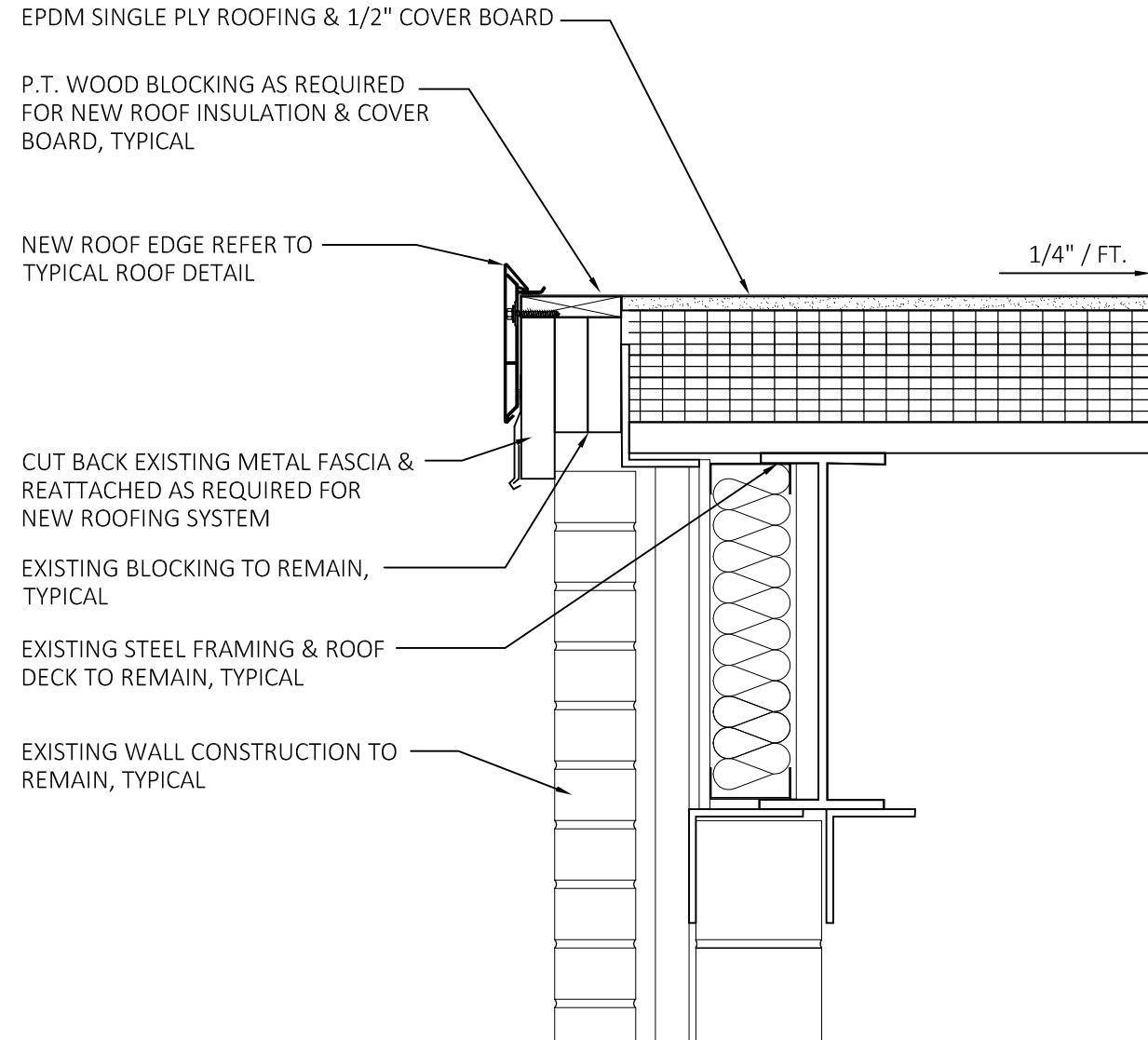
A5.4



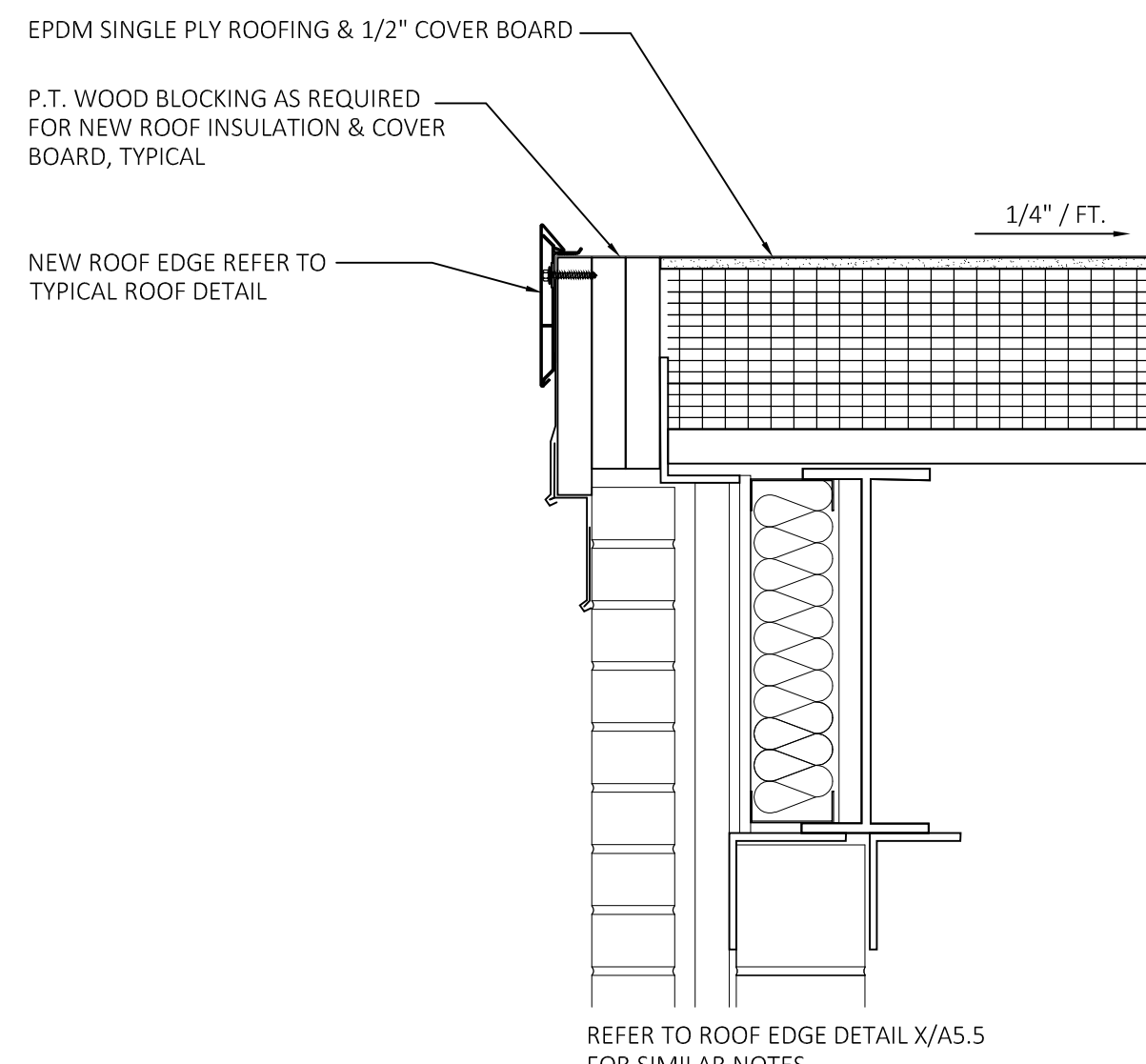
11 WOOD TRUSSED ROOF -
FLASHING DETAIL @ EXISTING ROOF
SCALE: 1-1/2" = 1'-0"



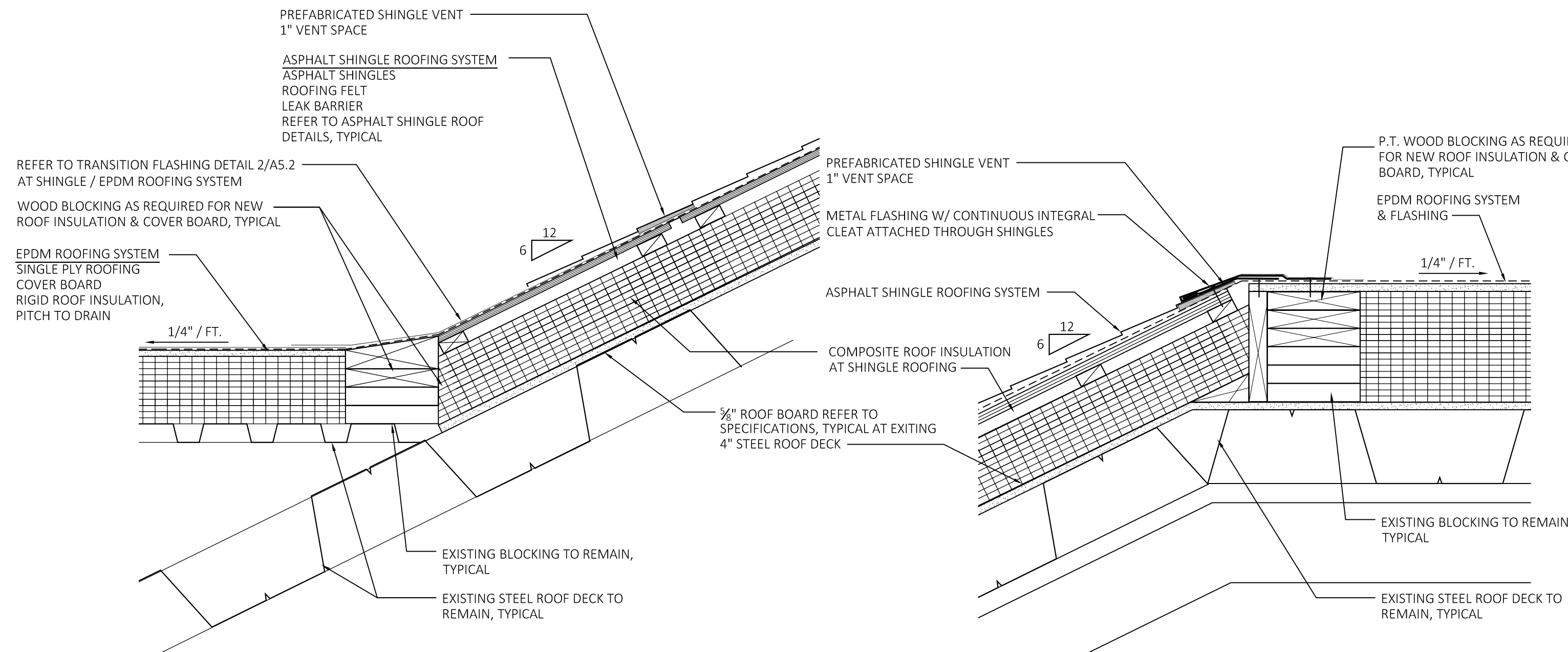
9 ROOF EDGE DETAIL AT GUTTER
SCALE: 1-1/2" = 1'-0"



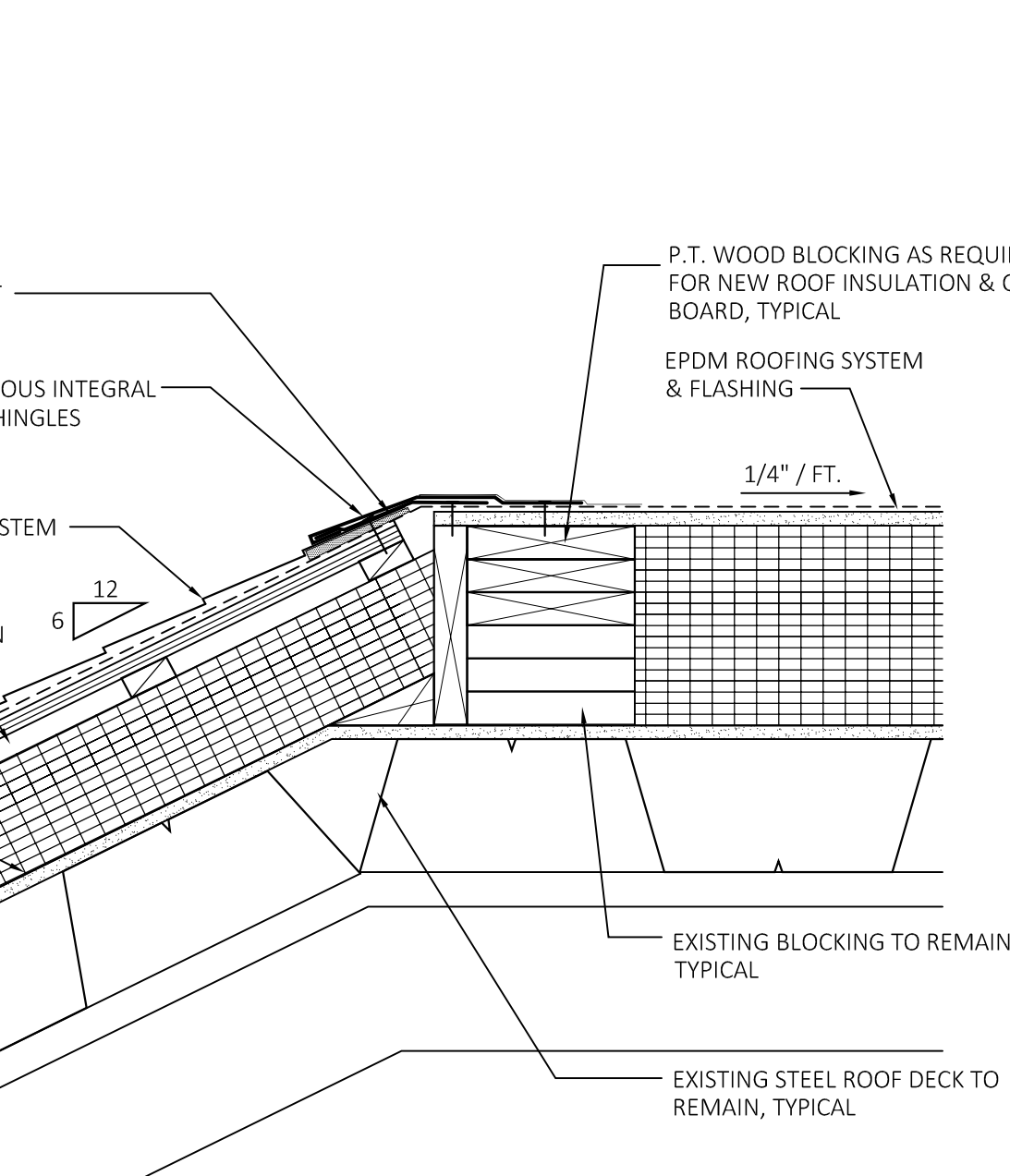
6 ROOF EDGE DETAIL
SCALE: 1-1/2" = 1'-0"



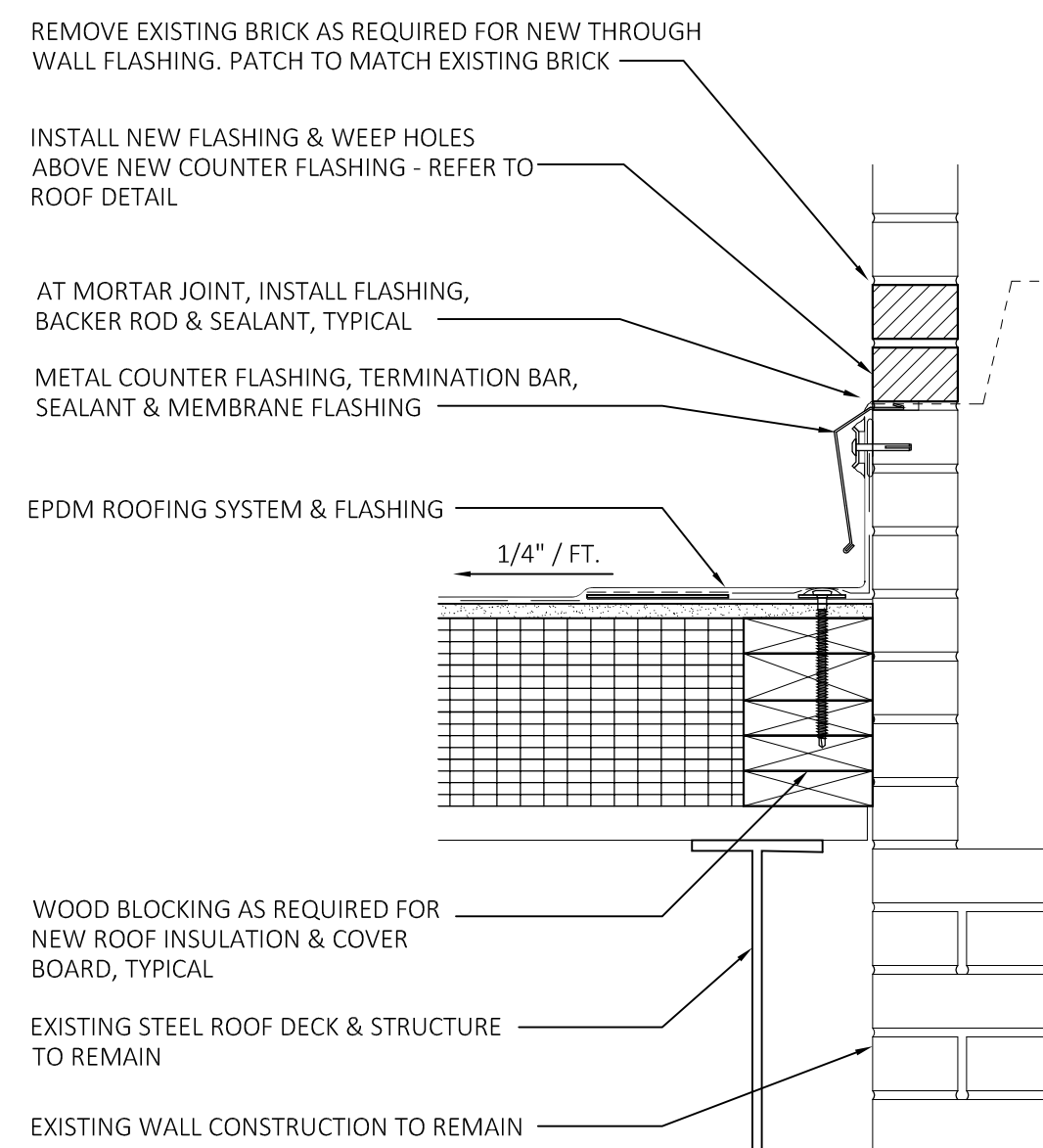
3 ROOF EDGE DETAIL
SCALE: 1-1/2" = 1'-0"



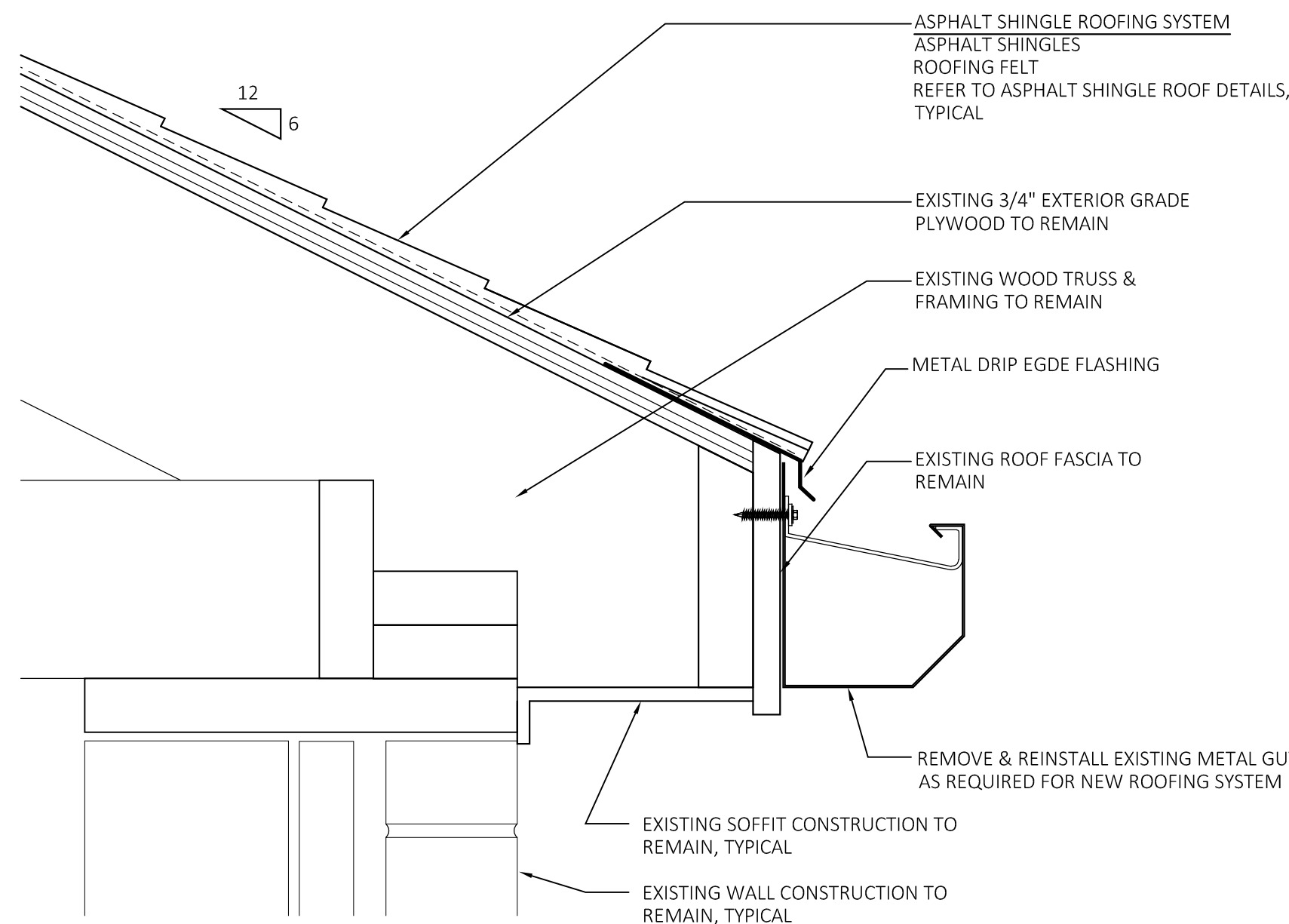
8 ROOF TRANSITION DETAIL
SCALE: 1-1/2" = 1'-0"



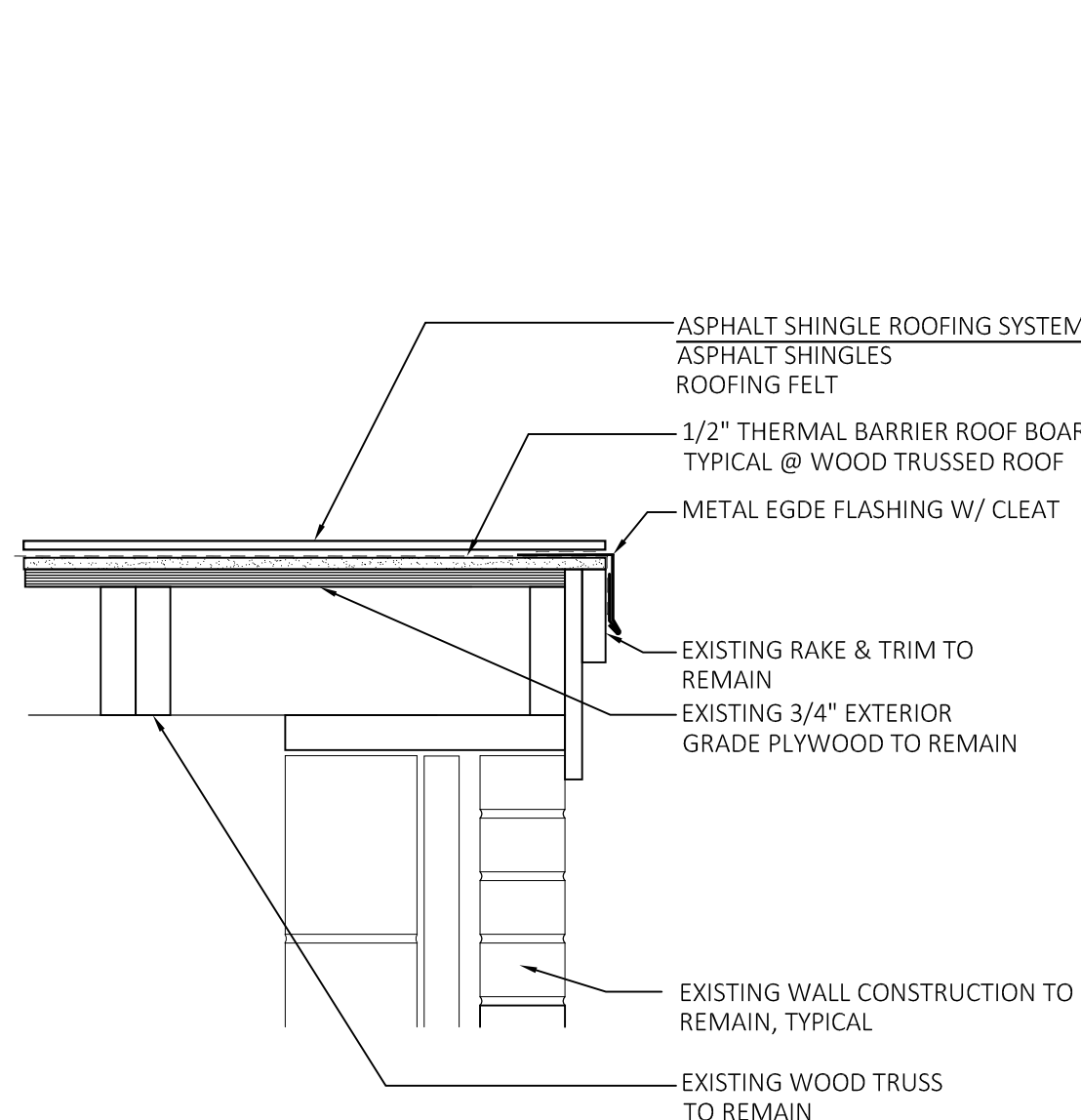
5 ROOF TRANSITION DETAIL
SCALE: 1-1/2" = 1'-0"



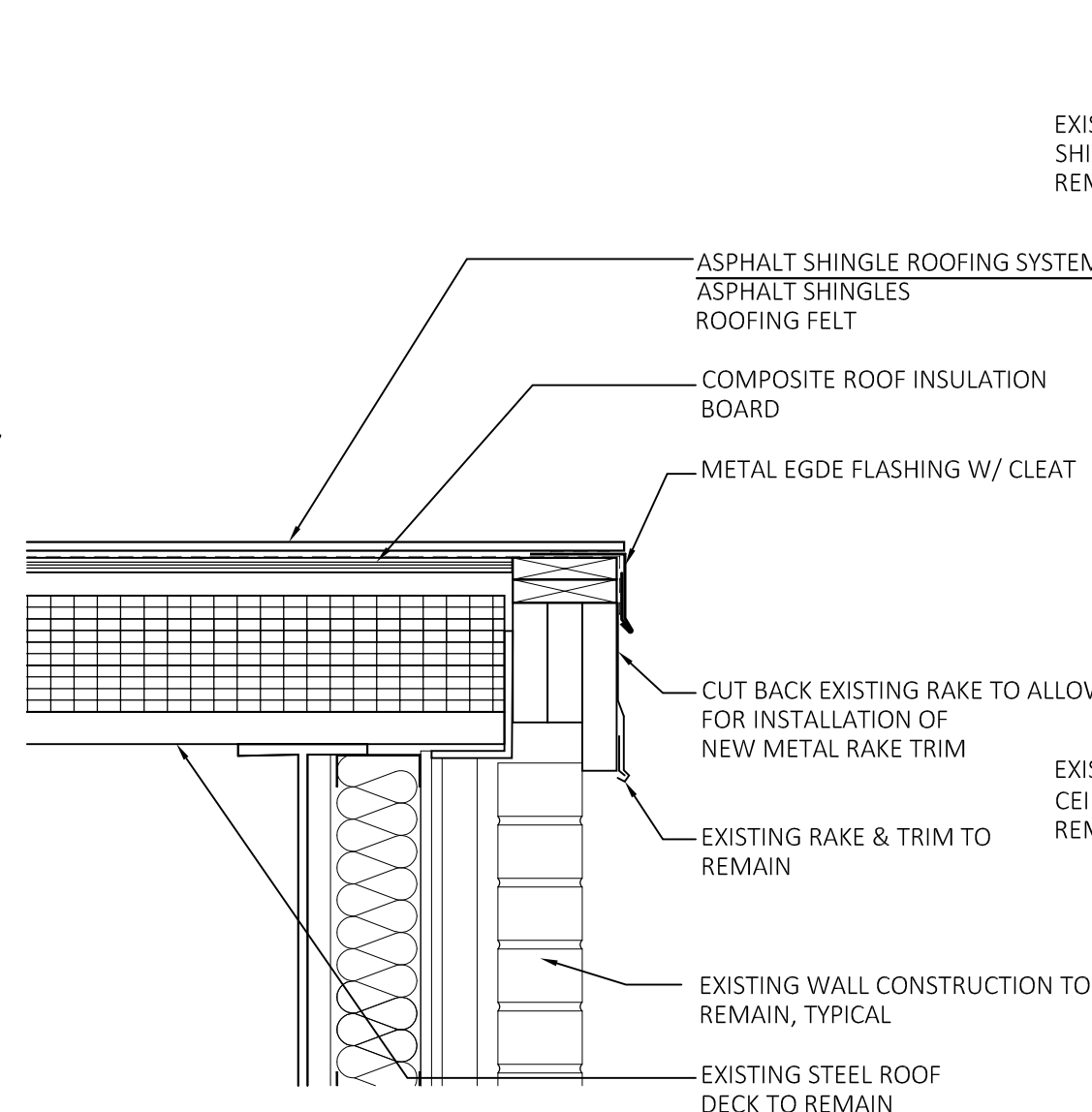
2 ROOF / WALL FLASHING DETAIL
SCALE: 1-1/2" = 1'-0"



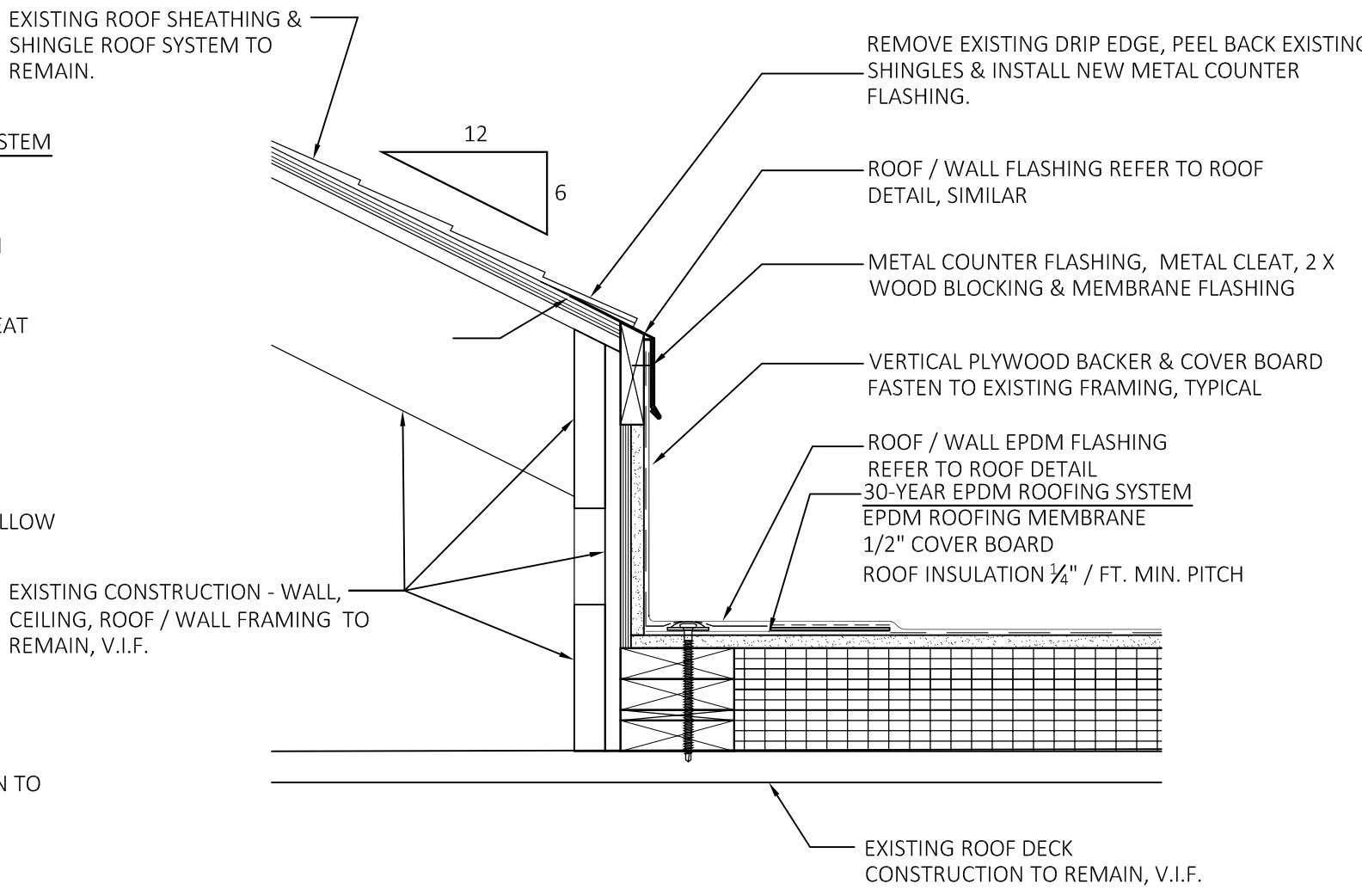
10 WOOD TRUSSED ROOF -
TYPICAL FASCIA / GUTTER DETAIL
SCALE: 3" = 1'-0"



7 WOOD TRUSSED
ROOF - RAKE DETAIL
SCALE: 1-1/2" = 1'-0"



4 ROOF RAKE DETAIL
SCALE: 1-1/2" = 1'-0"



1 FLASHING DETAIL @ EXISTING ROOF
SCALE: 1-1/2" = 1'-0"

PROFESSIONAL SEAL

CONSULTANT

ROOF REPLACEMENT
HEBRON ELEMENTARY
SCHOOL

92 CHURCH STREET
HEBRON, CT 06248

STATE PROJECT NO. 067-0043 RR

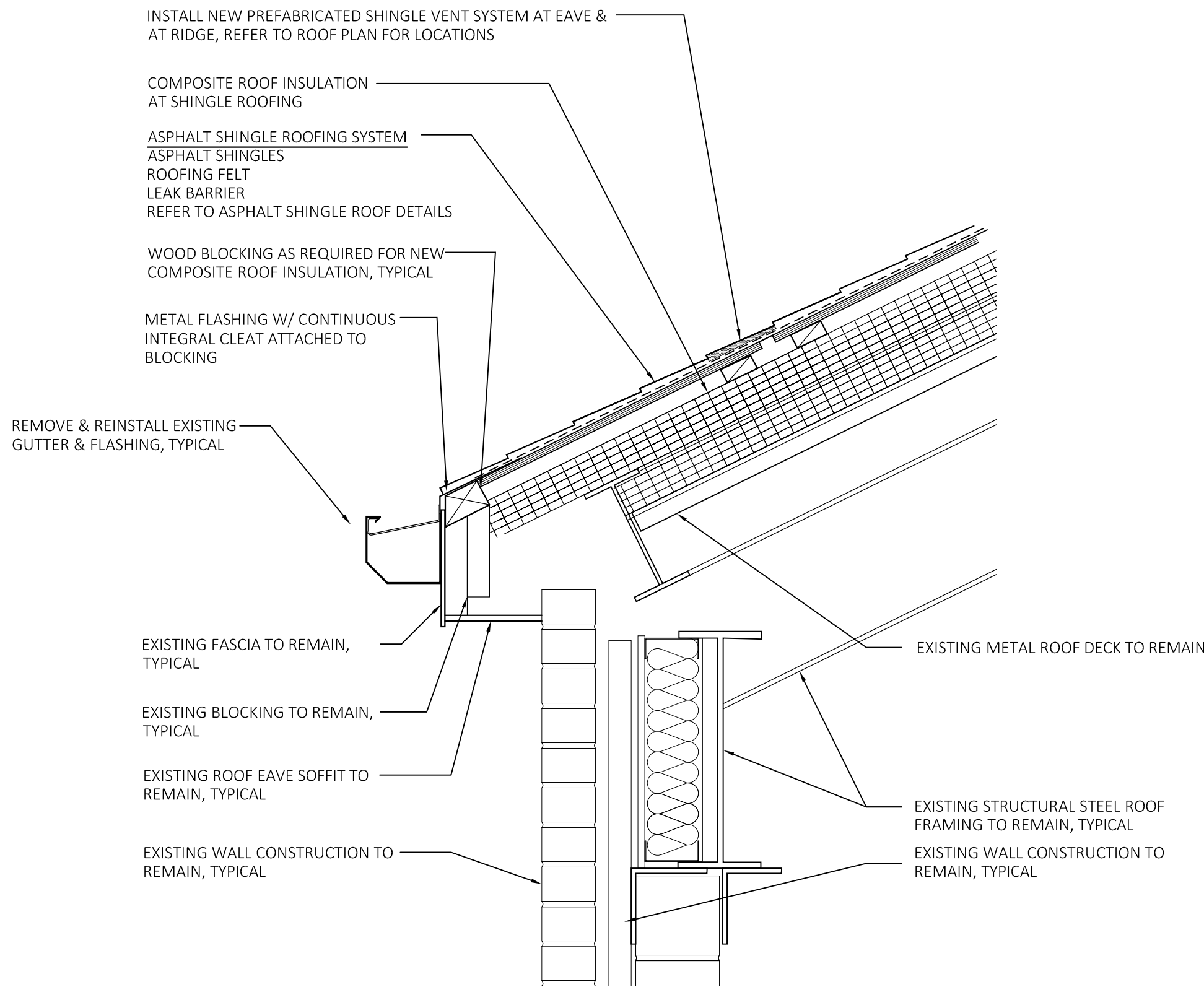
REVISIONS

NO.	DATE	DESCRIPTION
	4/14/25	ISSUED TO BID

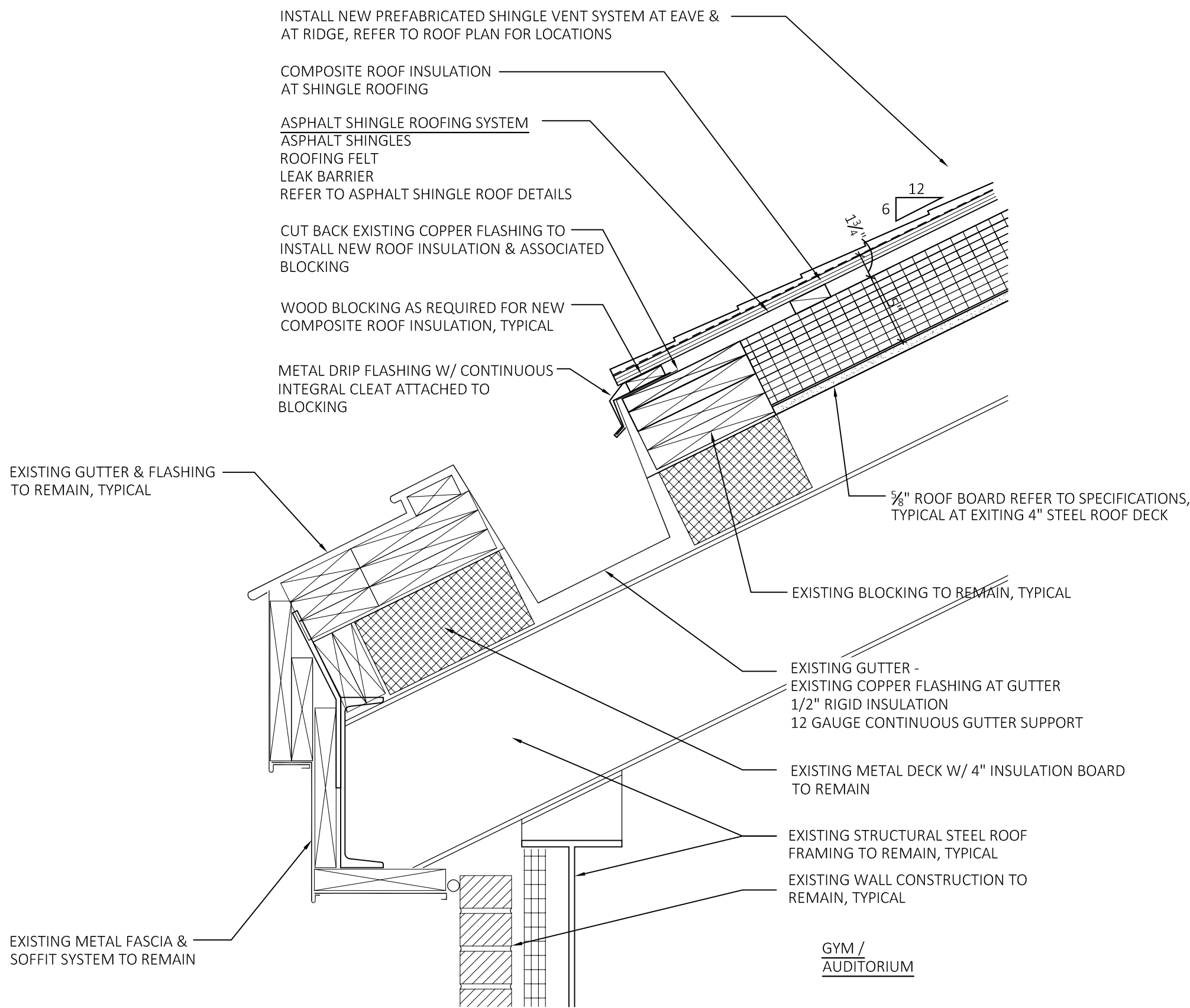
ROOF DETAILS

DATE: 3/3/2025
SCALE: AS NOTED
PROJ. #: 2024-022A
DRAWN: PEH
CHECKED: RWR

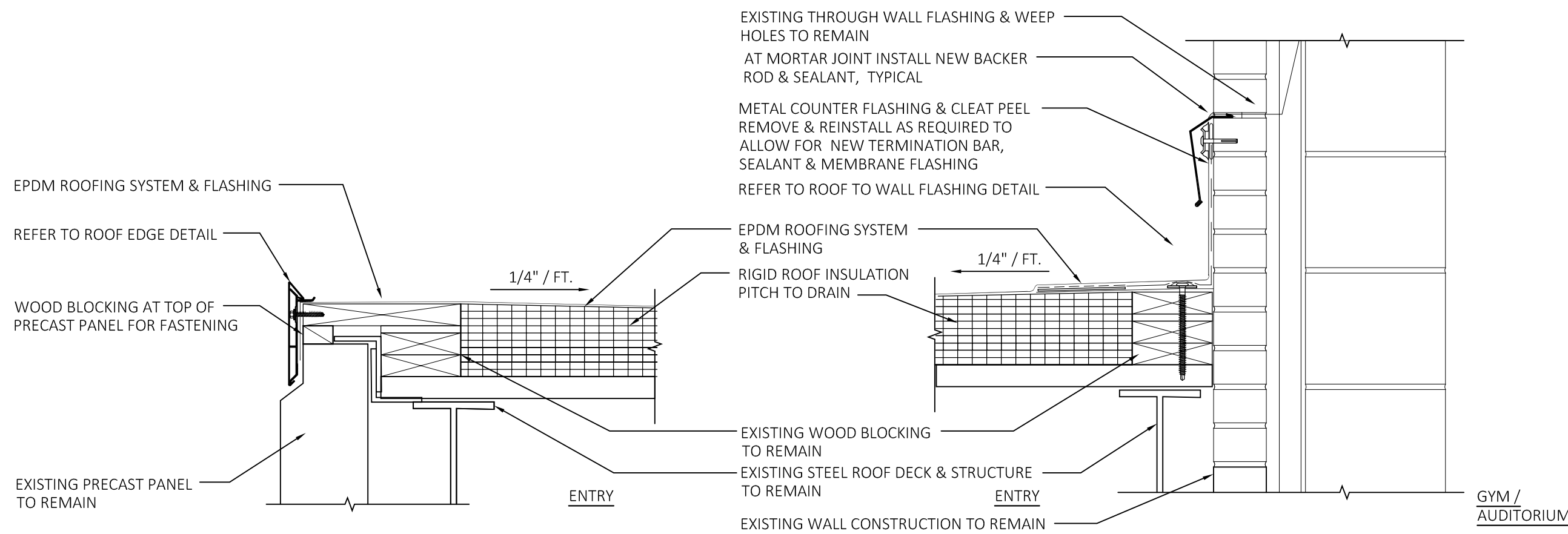
SHEET NO.
A5.5



4 MUSIC ROOM - EAVE DETAIL @ EXISTING WALL
SCALE: 1-1/2" = 1'-0"



2 GYM ROOF - EAVE DETAIL
SCALE: 1-1/2" = 1'-0"



3 GYM ENTRY ROOF - ROOF EDGE @ OVERHANG
SCALE: 1-1/2" = 1'-0"

1 GYM ENTRY ROOF - ROOF DETAIL @ EXISTING WALL
SCALE: 1-1/2" = 1'-0"