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HEBRON TOWN CLERK

**PLANNING AND ZONING COMMISSION  
AGENDA  
PUBLIC HEARING / REGULAR MEETING – VIRTUAL  
March 12, 2024 at 7:00 P.M.**

**Planning and Zoning Commission  
Mar 12, 2024, 7:00 – 10:00 PM (America/New\_York)**

**Please join my meeting from your computer, tablet or smartphone.**

**<https://meet.goto.com/719054749>**

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**PUBLIC HEARING**

**Petition 2023-10** – Petition of Roderic A. McCorrison to create a five (5) lot resubdivision of a 26.98-acre split lot owned by David G. Ellenberg, Parcel #12-18 Church St, Neighborhood Commercial and Residence-1 District.

**Petition 2024-01**– Petition of Town of Hebron to construct a pedestrian bridge and sidewalk connection between the Douglas Library of Hebron and Pendleton Drive. Application is filed pursuant to Sections 3.A.3.4.1 and 3.B.2.5.1 of the Hebron Zoning Regulations, Hebron Green and Main Street Districts.

**Petition 2024-03** - Petition of John A. Bond, Jr., for a Special Permit to install a temporary storage structure in accordance with 2.D.11.3 of the Hebron Zoning Regulations on premises located at Parcel #35-15 East St, Residence-1 District.

**REGULAR MEETING**

- I. Call to Order / Roll Call
- II. Approval of Minutes
  - A. February 27, 2024 – Regular Meeting
- III. Recognition of Guests / Public Comments (non-Agenda items)

*The Planning and Zoning Commission will accept public comment regarding the 2024 Plan of Conservation and Development Draft, available for review at*  
<https://hebronct.com/town-departments/planning-development/2014-plan-update/>



**PLANNING AND ZONING COMMISSION**  
**AGENDA**  
**PUBLIC HEARING / REGULAR MEETING – VIRTUAL**  
**March 12, 2024 at 7:00 P.M.**

IV. Action on Pending Applications

- A. **Petition 2023-10** – Petition of Roderic A. McCorrison to create a five (5) lot resubdivision of a 26.98-acre split lot owned by David G. Ellenberg, Parcel #12-18 Church St, Neighborhood Commercial and Residence-1 District
- B. **Petition 2024-01 and 2024-02** – Petition of Town of Hebron to construct a pedestrian bridge and sidewalk connection between the Douglas Library of Hebron and Pendleton Drive. Application is filed pursuant to Sections 3.A.3.4.1 and 3.B.2.5.1 of the Hebron Zoning Regulations, Hebron Green and Main Street Districts
- C. **Petition 2024-03** – Petition of John A. Bond, Jr., for a Special Permit to install a temporary storage structure in accordance with 2.D.11.3 of the Hebron Zoning Regulations on premises located at Parcel #35-15 East St, Residence-1 District
- D. **Petition 2024-05** – Petition of Jim R. Celio to amend the Hebron Zoning Regulations Section 3.F.2.4 to permit single-family dwellings in the Commercial Technology District. *A Public Hearing is scheduled for April 9, 2024.*

V. Old Business – No Old Business

VI. New Business

- A. New Applications – No New Applications
- B. Set Public Hearing Date
- C. Other New Business

VII. Correspondence

- A. Email dated 3/5/2024 from Lillian Rhodes to Matthew Bordeaux

VIII. Public Comment (non-Public Hearing applications)

IX. Adjournment

Next Meeting:            March 26, 2024 Regular Meeting  
                                 April 9, 2024 Public Hearing / Regular Meeting



**TOWN OF HEBRON  
PLANNING AND DEVELOPMENT DEPARTMENT**

**TO:** Planning and Zoning Commission

**FROM:** Matthew Bordeaux, Town Planner

**DATE:** March 7, 2024

**RE:** Planner's Report for March 12, 2024 Meeting

**Action on Pending Applications**

**Petition 2023-10** – Petition of Roderic A. McCarrison to create a five (5) lot resubdivision of a 26.98-acre split lot owned by David G. Ellenberg, Parcel #12-18 Church St, Neighborhood Commercial and Residence-1 District

The Commission received a new application for resubdivision at their December 12, 2023 meeting. The Hebron Conservation Commission approved an Inland Wetlands Permit with conditions at a Special Meeting on February 22, 2024. A memo dated March 6, 2024 and associated attachments are included in the Agenda Packet for your review of the proposed resubdivision.

**Petition 2024-01 and 2024-02** – Petition of Town of Hebron to construct a pedestrian bridge and sidewalk connection between the Douglas Library of Hebron and Pendleton Drive. Application is filed pursuant to Sections 3.A.3.4.1 and 3.B.2.5.1 of the Hebron Zoning Regulations, Hebron Green and Main Street Districts.

The proposed project is called for in The Hebron Center Plan, adopted in 2016 (see page 30). For those of you unfamiliar, you can view a copy of The Hebron Center Plan at the following link: <https://hebronct.com/uploads/2018/11/The-Hebron-Center-Plan.pdf>

The Hebron Conservation Commission approved an Inland Wetlands Permit associated with the proposed activity at their meeting on February 8, 2024. The project has also been referred to the Hebron Historic Properties Commission on January 10, 2024. A memo dated March 7, 2024 is included in the Agenda Packet with attachments for your review.

Town Engineer Thomas H. Fenton, P.E., will be present at the meeting to discuss the project with the Commission.

**Petition 2024-03** – Petition of John A. Bond, Jr., for a Special Permit to install a temporary storage structure in accordance with 2.D.11.3 of the Hebron Zoning Regulations on premises located at Parcel #35-15 East St, Residence-1 District.



A memo dated March 6, 2024 is included in the Agenda Packet for your review.

**Petition 2024-05** – Petition of Jim R. Celio to amend the Hebron Zoning Regulations Section 3.F.2.4 to permit single-family dwellings in the Commercial Technology District. *A Public Hearing is scheduled for April 9, 2024. No action is necessary at this time.*

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**Old Business** – There is no old business to consider at this time.

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**New Business**

There are no new applications for the Commission's receipt and no Public Hearings that need to be scheduled.

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**Other New Business**

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**Correspondence**

I've received an email dated 3/5/2024 from Lillian Rhodes. I told Ms. Rhodes that I have posted the draft "Town of Hebron, CT 2024 Plan of Conservation and Development" on the Town of Hebron's website. I am happy to take the Commission's direction on this, but I feel that rather than make revisions with every public comment, we should leave the draft up as it is and we can consider revisions immediately prior to or immediately following the Public Hearing on May 14, 2024.

MRB

H:\Matt\Boards & Commissions\PZC\2024\03-12-2024\Planners Report.docx

Attachments



**TOWN OF HEBRON  
PLANNING AND DEVELOPMENT DEPARTMENT**

**TO:** Planning and Zoning Commission

**FROM:** Matthew R. Bordeaux, Town Planner

**DATE:** March 6, 2024

**RE:** **Petition 2023-10** – Petition of Roderic A. Mccorrison to create a five (5) lot resubdivision of a 26.98-acre split lot owned by David G. Ellenberg, Parcel #12-18 Church St, Neighborhood Commercial and Residence-1 District.

***Introduction***

Parcel #12-18, referred to as the Ellenberg Property, after the owner's last name, is a 26.98-acre parcel located at the northwest corner of intersection of Church St (CT Route 85) and Old Colchester Rd. Single-family residential lots exist to the north, west and southwest of the subject lot. Immediately opposite the frontage on Church St are a handful of active commercial enterprises abutted on the north and south by single-family residences. The subject lot wraps around an existing single-family house lot at 4 Old Colchester Rd.

The subject parcel is comprised of areas in two zoning districts. Three parcels (Lots #2-4) are proposed to be created in the portion of the property in the Neighborhood Convenience (NC) District. As described in Section 3.D of the Hebron Zoning Regulations, the purpose of this district is to provide limited, low-intensity convenience uses to serve concentrations of residents in the immediate vicinity. All uses permitted in Section 3.D.2 require Special Permit approval from the Planning and Zoning Commission.

Two additional parcels are proposed in the Residence 1 (R-1) District designed to surround the proposed parcels in the NC District. Lot #1 identified on the plans titled "Ellenberg Subdivision" is proposed to be 13.75 acres (599,138 S.F.) in area and Lot #5 is proposed to be 6.56 acres (285,657 S.F.).

***Hebron Subdivision Regulations***

As provided in Section 3.1 of the Hebron Subdivision Regulations, "No owner or agent of the owner of any land located within the Town of Hebron shall transfer or sell, or agree to sell or negotiate to sell any land from, and no building permit for the construction of any structure, utilities or public improvements shall be issued for, a proposed subdivision before the final plan of such subdivision has been approved by the Commission and recorded or filed in the Office of the Hebron Town Clerk." With this in mind, Town staff and the Commission must acknowledge that, at least as it applies to the three proposed lots in the NC District, Site Plan permit applications will be required for each future proposal. Therefore, while it is anticipated that the plan for the development of each site is subject to change, the proposal represents the development potential in conformance with the Hebron Subdivision Regulations. The relevant aspects of the Design Criteria of Section 6 of the Hebron Subdivision Regulations are listed below.

**Lots** - All proposed lots have been designed in compliance with the dimensional requirement of the Hebron Zoning Regulations.

**Streets** – There are no streets proposed. There are no known deficiencies with Church St that would necessitate the applicant or future owner/developer to make improvements in order to gain access to the proposed lots. The applicant has stated that there exists adequate sight distance at the proposed curb cuts.



As stated above, each future site development proposal will require subsequent review. This will include a review by the State of Connecticut Department of Transportation for activity in the State-owned right-of-way through which access to each proposed lot is proposed. It is not typical for the State to review proposed activity unless it is associated with a specific site development plan, however it cannot be said with certainty that the State will approve each curb cut as proposed.

Storm Drainage - The applicant has provided a Drainage Report prepared by Mark A. Reynolds, P.E. of Reynolds Engineering Services, LLC, in accordance with Section 5.5 of the Hebron Subdivision Regulations. Mr. Reynolds states that “The establishment of grass over the majority of the proposed development area will maintain peak discharges and volume of runoff at or below pre-development conditions for storm events up to 100-year event, thus minimizing impacts to areas downstream. The proposed development will not adversely impact the drainage of the surface runoff on the site or in the surrounding area.” The Final Drainage Design Report (Revised 2/16/2024) is attached for your review.

Review letters prepared by Thomas H. Fenton, P.E., the Town of Hebron’s consultant engineer are attached for your review. In the letter dated February 20, 2024, Mr. Fenton states “The above noted submitted items have been revised to address the comments of our January 26, 2024 review letter. Based on our review of these items, along with email correspondence from the applicant’s engineer and discussion with you as to items presented at the Conservation Commission continued Public Hearing of February 8, 2024, we can now confirm that our previous review comments have been adequately addressed.”

In their decision regarding the associated Inland Wetlands Permit Petition #2023-04, the Conservation Commission included as a condition of approval the recommendation that the Planning and Zoning Commission thoroughly evaluate the management of stormwater during future site development planning. The Conservation Commission Notice of Decision dated February 23, 2024, is attached.

Erosion & Sedimentation Controls – The “Site Development Plan”, Sheet No.: 3 of 4, dated December 1, 2023, revised 1/31/2024, depicts erosion and sedimentation control measures downgradient of the disturbed areas associated with development of the proposed lots. An additional row of protection is depicted adjacent the existing treeline, westerly of the proposed development area. The reason for this is that the applicant has represented in the Drainage Report that the conversion of the agricultural field to established grassed turf will constitute an improvement of stormwater drainage, however to do so deliberately will require at least some degree of disturbance of the existing condition, potentially aggravating the soil. Therefore, some protection at the extent of the disturbed area should be provided until turf is established in a manner represented by the applicant.

Water Supply and Sewage Disposal – Private water supply will be provided on each lot. As proposed, the development areas of each lot are positions within the sewer district and 8-inch PVC pipes are proposed to connect to the existing service located in Church St. The Water Pollution Control Authority Administrator will be included in the staff review of each subsequent Site Development plan.

Open Space - In accordance with Subsection 6.10.H of the Hebron Subdivision Regulations, the applicant proposes to pay a fee to the Town in lieu of the full requirement to provide open space as set forth in this section. An email from the applicant, Roderick McCarrison, dated 11/29/2023 and an Appraisal Report, dated 10/16/2023, prepared by Dennis A. Chanski, SRA, are attached for your review.

As set forth in Connecticut General Statutes Section 8-25, the Commission may authorize the applicant to pay a fee to the Town, when it determines that conditions are such that an on-site open space is not as desirable as a fee-in-lieu of open space. Such a fee shall be equal to not more than ten percent (10%) of the fair market value of the land to be subdivided prior to the approval of the subdivision.



The Appraisal Report evaluates a 5.32-acre portion of the 26.98-acre parcel for the purpose of developing its market value for open space and summarizes that the area is unbuildable and therefore its “Highest & Best Use” is as surplus land to an abutter. This is not the procedure for the determination of the fee-in-lieu amount, so while a fee-in-lieu may be in the Town’s best interest, the appraisal will need to be revised to determine the accurate amount.

In its approval of the associated Inland Wetlands Permit, the Conservation Commission recommended the Planning and Zoning Commission accept the applicant’s payment of fee-in-lieu of the open space requirement. See the Conservation Commission’s Notice of Decision dated February 23, 2024, attached.

**Comment:** The subject parcel is essentially bisected by wetlands. Development of much of the parcel is impracticable and regulated pursuant to the Hebron Inland Wetlands and Watercourses Regulations, therefore, open space of the majority of the site is likely to occur naturally, with or without the imposition of the open space requirement. A fee-in-lieu of open space would better serve the Town of Hebron. Therefore, should the Commission agree, the Commission could consider permit approval with a condition that the Appraisal Report be revised to accurately determine the amount of the fee and payment made pursuant to Subsection 6.10.H.3 of the Subdivision Regulations.

Street Trees and Stone Walls – The proposed development area of each lot faces Church St. The property frontage on Church St consists of trees and a stone wall reminiscent of many agricultural fields where stones removed from the agricultural fields were piled at the perimeter of arable land and aggressive, emergent vegetation proliferates. While the condition provides a buffer between the field and street, it is unsightly and likely incompatible with future commercial development. The Commission may find it appropriate to consider future development proposals before determining what is the best condition of these features along the road frontage.

**Comment:** Rather than use of a conservation easement under these circumstances, I recommend the Commission consider a condition that the provision of street trees and future use of the existing stone wall be considered when specific development proposals are made for each lot.

### ***Hebron Zoning Regulations***

Section 3.D.4 and 5 of the Hebron Zoning Regulations outline “Dimensional Standards” and “Additional Standards”, respectively, applicable to development in the NC District. Lots #2-4 proposed are designed to be in compliance with the Dimensional Standards of Section 3.D.4. While no specific proposal is being presented to the Commission, some familiarity with the standards should help inform what is the development potential of the lots proposed. Copies of Sections 3.D.4 and 5 are attached for your review.

### ***Inland Wetlands Permit***

At a Special Meeting on February 22, 2024, the Hebron Conservation Commission approved Inland Wetlands Permit #2023-04 with conditions. The approval letter dated February 23, 2024, is attached for your review. The Conservation Commission’s decision included recommendations to the Planning and Zoning Commission in the form of conditions. Those recommendations are addressed elsewhere in this memo under applicable subject headings.



### ***Town Staff Review***

The application was reviewed by Town staff for completeness and satisfaction of applicable standards and regulations. As stated above, the resubdivision application presented some challenges to Town staff because while the proposal satisfies minimum standards, it is unlikely to demonstrate the real development potential, or ultimate development plan, at least as it applies to the lots in the NC District since the lots cannot be marketed until the resubdivision approval is granted. Therefore, a prospective owner or developer would be risking significant expenditures in plan preparation with no assurances that the lots are in fact available.

That being said, as the development potential of the parcel is severely limited by naturally occurring, environmental conditions, the proposal as provided represents a potential development plan that is consistent with the Hebron Subdivision Regulation and the Hebron Zoning Regulations, as applicable.

Review letters from Town Engineer Thomas H. Fenton, P.E. are attached for your review.

### ***Waivers***

No waivers are requested by the applicant or recommended by Town staff.

### ***Standard Conditions of Approval for the Commission's Consideration:***

1. A fee-in-lieu of open space, in the amount acceptable to the Town Planner, shall be paid to the Town in accordance with the provisions of Section 6.10.H.3. A notice to this effect shall be placed on the Subdivision Plans filed in the Town Clerk's Office.
2. The amount of the fee-in-lieu of open space as outlined in Section 6.10.H.1 of the Hebron Subdivision Regulations shall be equal to not more than ten percent (10%) of the fair market value of the land to be subdivided. The Appraisal Report prepared by Dennis A. Chanski, dated 10/16/2023 shall be revised accordingly.
3. Prior to the issuance of a building permit, an erosion and sediment control bond in an amount acceptable to the Town Engineer shall be submitted to the Town in a form acceptable to the Town Attorney.
4. All modifications required by the Commission shall be included on the final plans and copies of all letters or notices of approval from all land use agencies shall be added to the final plans prior to signature by the Commission. One mylar copy and four paper copies of the final plans shall be submitted to Town staff for signature by the Commission, revised to adhere to all conditions of approval, and containing the Planning and Zoning Commission letter of approval.

### ***Additional Conditions of Approval for the Commission's Consideration:***

1. Street Trees and Stone Walls are significant features important to the character of the community. The Planning and Zoning Commission will consider the provisions of Sections 6.13 and 6.14 of the Hebron Subdivision Regulations in review of individual site development plans when permit applications are made for each lot.

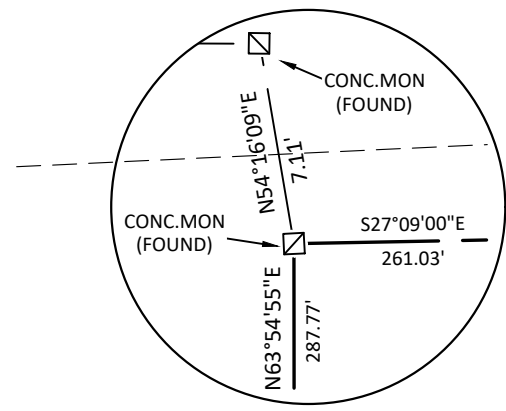
MRB

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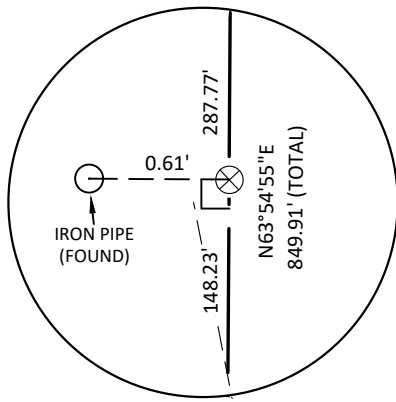


LEGEND

- PROPERTY LINE  
STONE WALL  
WETLAND SOILS  
UTILITY POLE  
IRON PIN OR PIPE FOUND  
IRON PIN SET: 5/8" REBAR  
MONUMENT FOUND  
ANGLE POINT  
DRILL HOLE TO BE SET



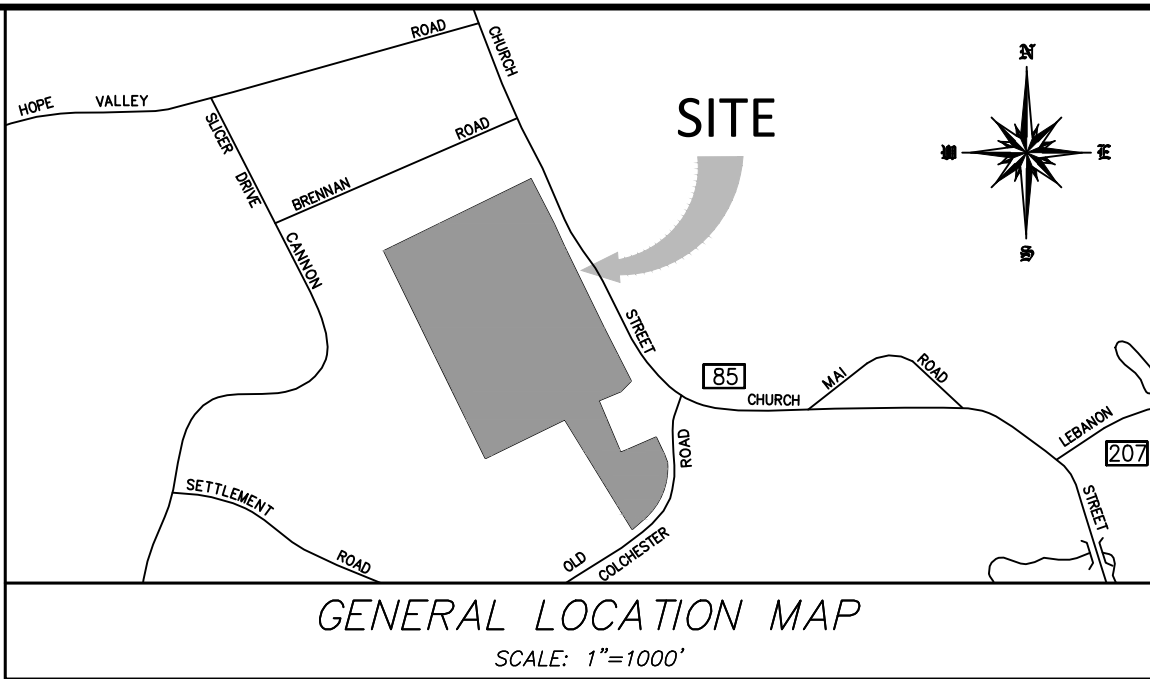
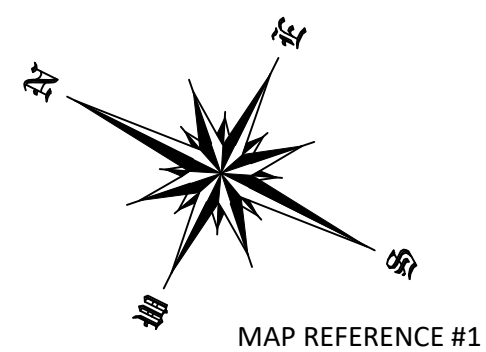
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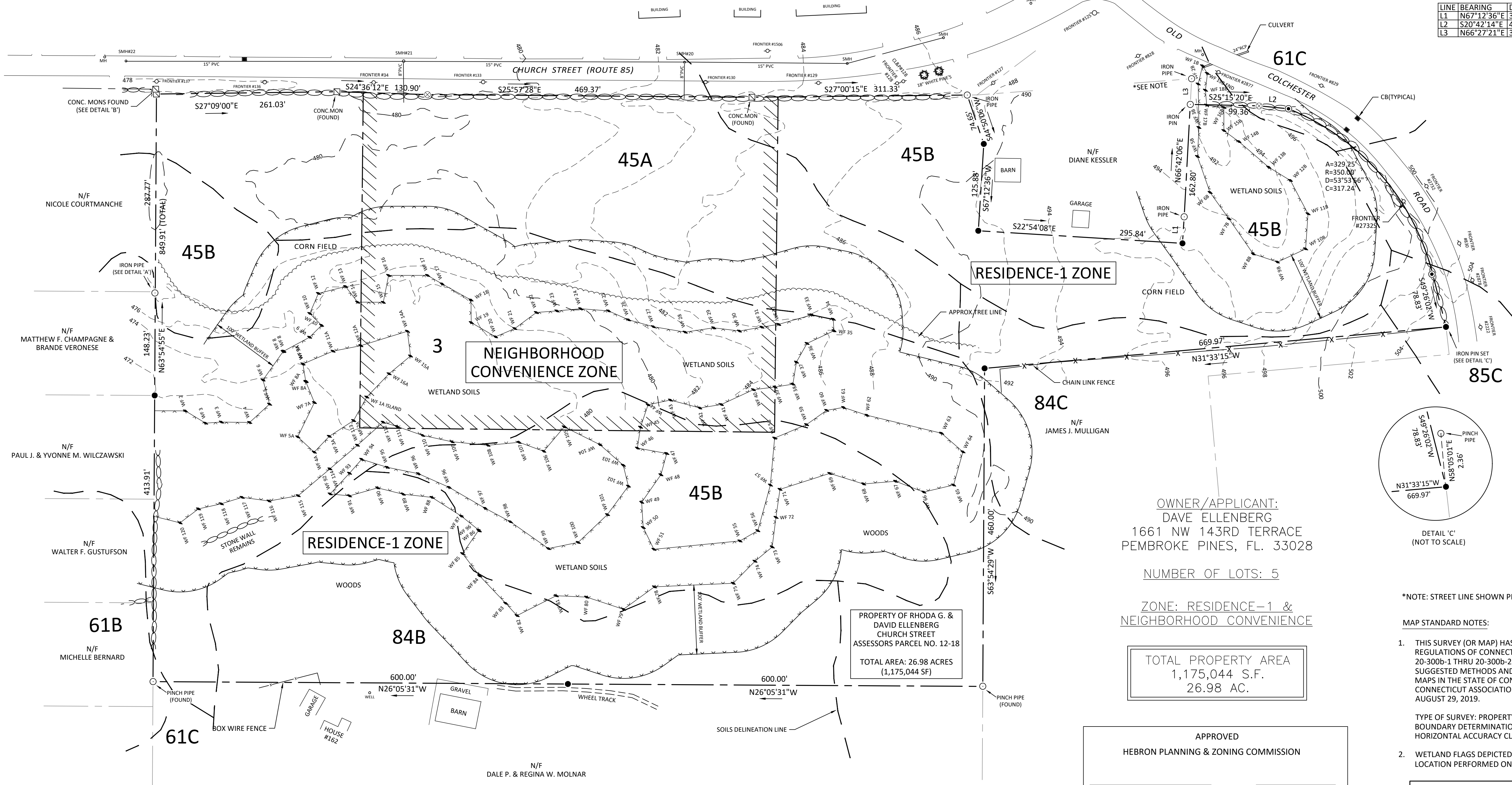
SOIL LEGEND  
CT USDA-NRCS CERTIFIED DATA

- 3 RIDGEBURY, LEICESTER AND WHITMAN SOILS, 0-8% SLOPES, EXTREMELY STONY  
45A WOODBRIDGE FINE SANDY LOAM, 0 TO 3% SLOPES  
45B WOODBRIDGE FINE SANDY LOAM, 3 TO 8% SLOPES  
61B CANTON #4 CHARLTON FINE SANDY LOAMS, 0-8% SLOPES, VERY STONY  
61C CANTON AND CHARLTON FINE SANDY LOAMS, 8 TO 15% SLOPES, VERY STONY  
84B PAXTON AND MONTAUK FINE SANDY LOAMS, 3 TO 8% SLOPES  
84C PAXTON AND MONTAUK FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES



LINE TABLE

LINE	BEARING	DISTANCE
L1	N67°12'36"E	38.41'
L2	S20°42'14"E	42.89'
L3	N66°27'21"E	37.20'



OWNER/APPLICANT:  
DAVE ELLENBERG  
1661 NW 143RD TERRACE  
PEMBROKE PINES, FL. 33028

NUMBER OF LOTS: 5

ZONE: RESIDENCE-1 &  
NEIGHBORHOOD CONVENIENCE

TOTAL PROPERTY AREA  
1,175,044 S.F.  
26.98 AC.

APPROVED  
HEBRON PLANNING & ZONING COMMISSION

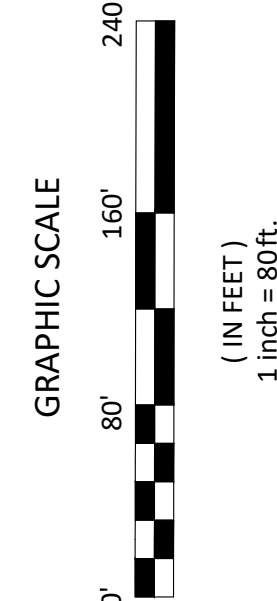
CHAIRMAN / SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
THIS APPROVAL WILL EXPIRE ON \_\_\_\_\_

APPROVED  
HEBRON INLAND WETLAND AGENCY

CHAIRMAN / SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

**RES** CIVIL ENGINEERING CONSULTANTS  
63 NORWICH AVENUE  
COLCHESTER, CT  
(860) 516-0033  
*Reynolds Engineering Services, LLC*

To my knowledge and belief, this map is substantially correct as noted hereon.  
Mark A. Reynolds, P.E. CT LIC.# 19789  
Certification is not valid without live signature and embossed (impression) type seal.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
THIS DRAWING IS NOT VALID UNLESS IT BEARS AN ORIGINAL INK SIGNATURE AND EMBOSSED SEAL  
NO. DATE DESCRIPTION  
1. 1/10/24 UPDATE SITE DEVELOPMENT PLAN  
2. 1/13/24 ADDITIONAL EROSION CONTROL SHOWN  
REVISIONS  
ROBERT W. HELSTROM, L.S. #13626

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- MAP REFERENCES:  
1. "SUBDIVISION PLAN SECTION ONE JOSHUA FARMS PREPARED FOR R. MCCORRISON - W. DUFFORD - H. MEGSON  
HEBRON CONN., DATE 6-13-78, REVISED 8-10-78, BY HARRY K MEGSON"  
2. "PLOT PLAN PROPERTY OF MAURICE I KESSLER AND DIANE KESSLER IN HEBRON, CONNECTICUT, DATE 8-27-96"  
3. "SUBDIVISION PLAN SECTION TWO JOSHUA FARMS PREPARED FOR R. MCCORRISON - W. DUFFORD - H. MEGSON  
HEBRON CONN., DATE 2-14-79, BY HARRY K MEGSON"  
4. "HOPE VALLEY ESTATE SUBDIVISION PLAN PROPERTY OF CLIFFORD W. SLICER, ET AL HEBRON CONN. DATED,  
4-2-68, BY MEGSON & HYPPA"  
5. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF HEBRON FROM RAYMOND BROOK  
NORTHERLY ABOUT 4700 FEET ROUTE NO. 366 NUMBER 9071, DATE JAN. 29, 1932"  
6. "TOWN OF HEBRON MAP SHOWING THE LOCATION OF A SECTION OF HIGHWAY TO BE ABANDONED ON THE  
COLCHESTER-HEBRON ROAD WHICH SHALL REVERT TO THE TOWN AS PER CHAPTER SECTION 41 OF THE PUBLIC  
ACT OF OF 1925, CONNECTICUT STATE HIGHWAY DEPARTMENT"

I have delineated state of Connecticut wetlands and watercourses present on the subject site and have reviewed this plan and it is my opinion that the limits of the wetlands and watercourses depicted hereon are representative of those delineated in the field.

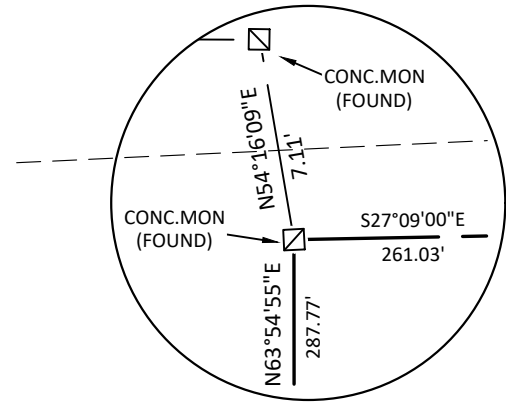
IAN COLE

Certification is not valid without live signature

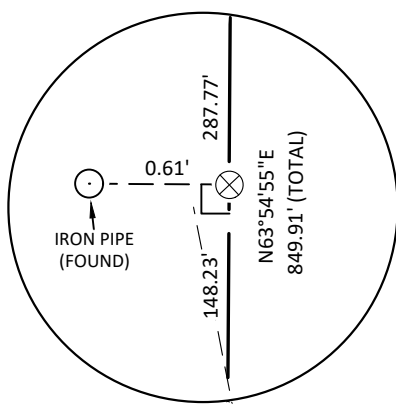


LEGEND

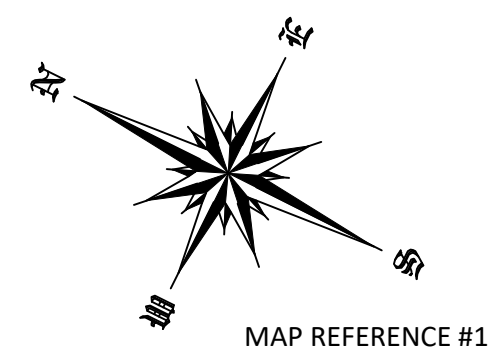
- PROPERTY LINE  
STONE WALL  
WETLAND SOILS  
UTILITY POLE  
PROPOSED IRON PIN  
IRON PIN OR PIPE FOUND  
IRON PIN SET: 5/8" REBAR  
MONUMENT FOUND  
ANGLE POINT  
DRILL HOLE TO BE SET



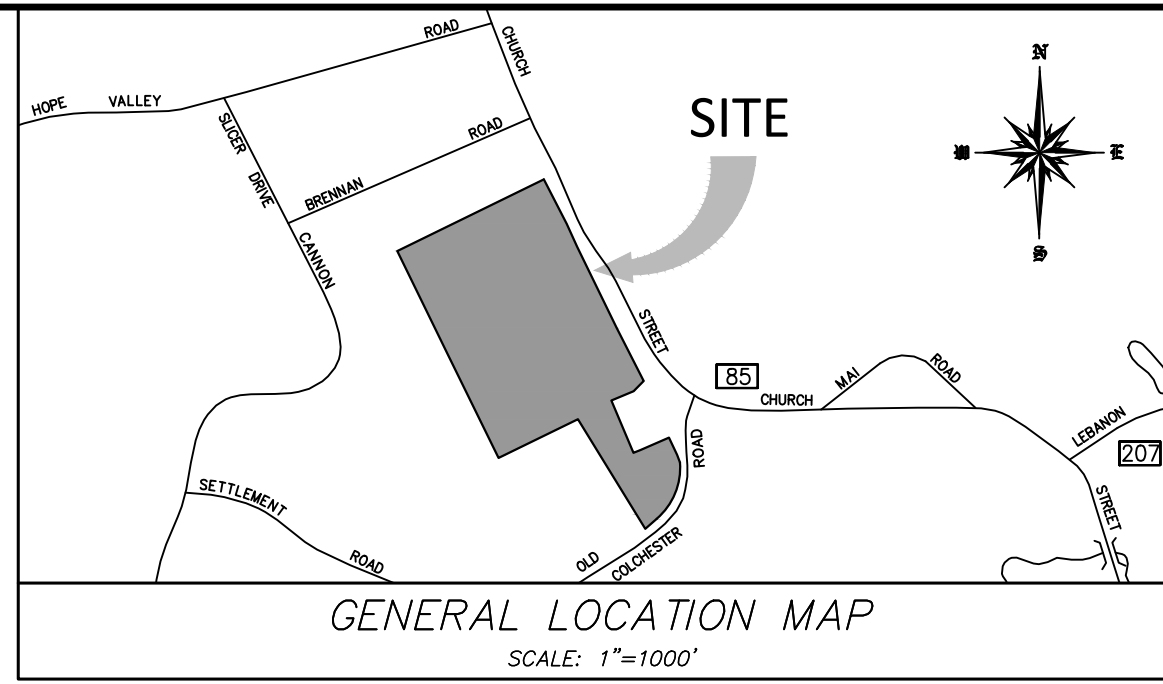
DETAIL 'B'  
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DETAIL 'A'  
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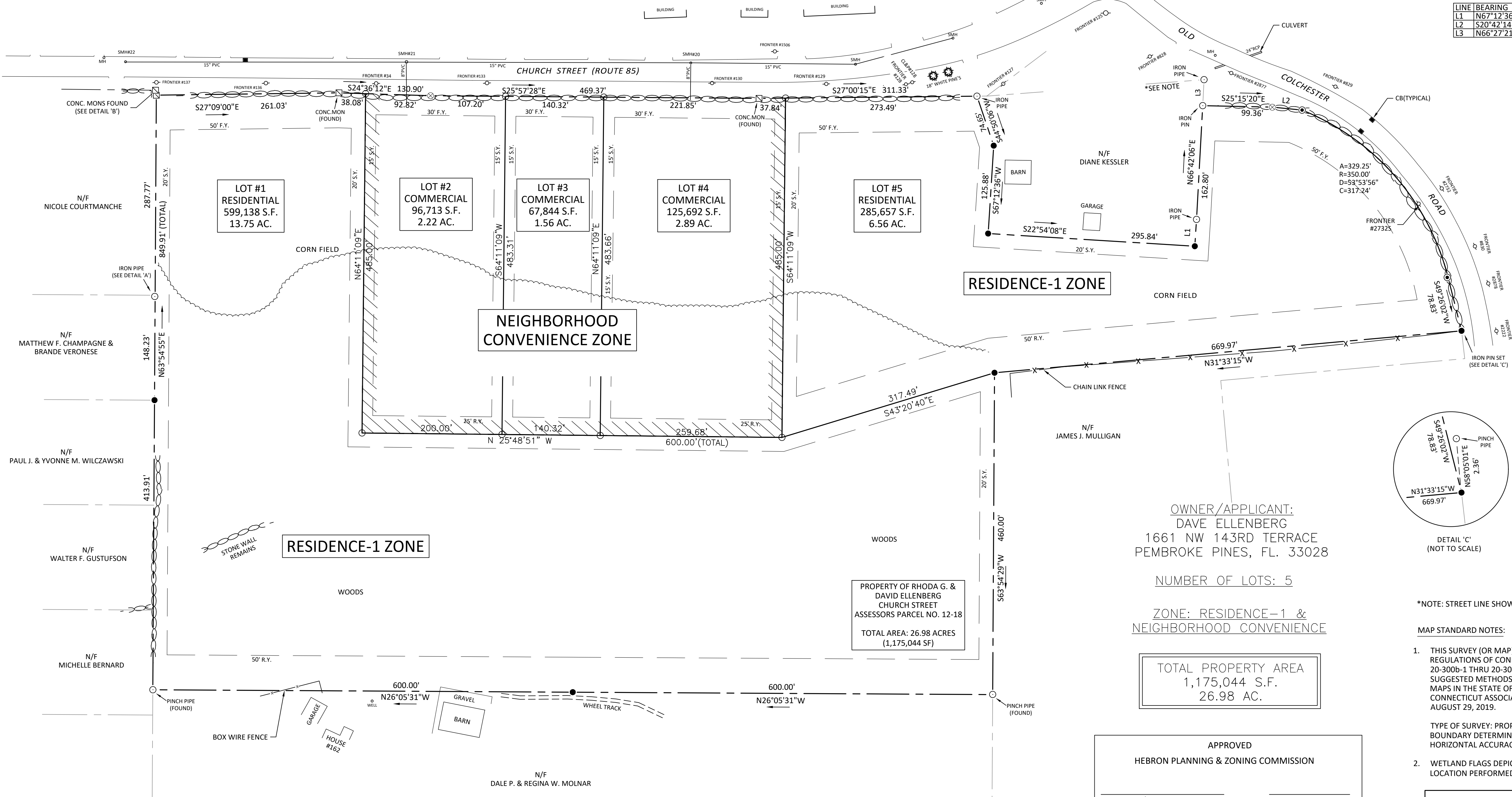


MAP REFERENCE #1



LINE TABLE

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APPROVED  
HEBRON PLANNING & ZONING COMMISSION

CHAIRMAN / SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
THIS APPROVAL WILL EXPIRE ON \_\_\_\_\_

APPROVED  
HEBRON INLAND WETLAND AGENCY

CHAIRMAN / SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

RES  
Reynolds Engineering Services, LLC

CIVIL ENGINEERING CONSULTANTS  
63 NORWICH AVENUE  
COLCHESTER, CT  
(860) 516-0033

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Mark A. Reynolds, P.E.

CT LIC.# 19789

Certification is not valid without live signature and embossed (impression) type seal.

ROB HELLSTROM  
LAND SURVEYING LLC

32 MAIN STREET  
HEBRON, CONNECTICUT  
(860)-228-9863

Mailing Address:  
P.O. BOX 378  
HEBRON, CT 06248

www.rhslc.com  
Email: hellstromsurveying@yahoo.com

DATE: DECEMBER 1, 2023

BY:

AGS

SHEET NO.: 2 OF 4

SCALE: 1"= 80'

FILE NO.: 23-092\_Sub

JOB NO.: 23-092

CONNECTICUT

HEBRON

ASSESSORS NO. 12-18 CHURCH STREET

DAVE ELLENBERG

- PREPARED FOR -

ELLENBERG SUBDIVISION

SUBDIVISION PLAN

REVISIONS

NO.

DATE

DESCRIPTION

1. 1/10/24 UPDATE SITE DEVELOPMENT PLAN

2. 1/3/24 ADDITIONAL EROSION CONTROL SHOWN

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS DRAWING IS NOT VALID UNLESS IT BEARS AN ORIGINAL INK SIGNATURE AND EMBOSSED SEAL

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ROBERT W. HELLSTROM, L.L.S. #13626

GRAPHIC SCALE  
0' 80' 160' 240'  
(IN FEET)  
1 inch = 80 ft.

MAP REFERENCES:

- "SUBDIVISION PLAN SECTION ONE JOSHUA FARMS PREPARED FOR R. MCCORRISON - W. DUFFORD - H. MEGSON  
HEBRON CONN., DATE 6-13-78, REVISED 8-10-78, BY HARRY K MEGSON"
- "PLOT PLAN PROPERTY OF MAURICE I KESSLER AND DIANE KESSLER IN HEBRON, CONNECTICUT, DATE 8-27-96"
- "SUBDIVISION PLAN SECTION TWO JOSHUA FARMS PREPARED FOR R. MCCORRISON - W. DUFFORD - H. MEGSON  
HEBRON CONN., DATE 2-14-79, BY HARRY K MEGSON"
- "HOPE VALLEY ESTATE SUBDIVISION PLAN PROPERTY OF CLIFFORD W. SLICER, ET AL HEBRON CONN. DATED,  
4-2-68, BY MEGSON & HYPPA"
- "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF HEBRON FROM RAYMOND BROOK  
NORTHERLY ABOUT 4700 FEET ROUTE NO. 366 NUMBER 9071, DATE JAN. 29, 1932"
- "TOWN OF HEBRON MAP SHOWING THE LOCATION OF A SECTION OF HIGHWAY TO BE ABANDONED ON THE  
COLCHESTER-HEBRON ROAD WHICH SHALL REVERT TO THE TOWN AS PER CHAPTER SECTION 41 OF THE PUBLIC  
ACT OF 1925, CONNECTICUT STATE HIGHWAY DEPARTMENT"













REYNOLDS ENGINEERING SERVICES, LLC  
63 NORWICH AVENUE, STE 202 – COLCHESTER, CT 06415  
Office: 860-516-0033 – Email: [markreynoldsenineer@gmail.com](mailto:markreynoldsenineer@gmail.com)

February 16, 2024

David Ellenberg  
1661 NW 143<sup>rd</sup> Terrace  
Pembroke, FL 33028

Re: **FINAL DRAINAGE DESIGN REPORT (REVISED 2/16/24)**  
Ellenberg Subdivision  
Church Street  
Hebron, CT  
Project No. 23-092

Mr. Ellenberg,

Pursuant to your request, following report was prepared to address the drainage design proposed for the proposed subdivision of your property at Church Street in Hebron, CT (Assessor's Map 12, Lot 18)

Specifically, this report was refined and revised in order to provide additional information requested by the Town's engineering review of the application. For the purposes of analysis, the property was divided into three areas.

Analysis Point #1 (AP1), which is a 18.82-acre portion of the property and is comprised of the majority of the area from the original analysis. An area of wooded wetlands along the west side of the property was added to this subarea (AP1). No development is contemplated in the wooded wetlands that were added to this subarea.

Analysis Point #2 (AP2), which is a 1.26-acre portion of the cornfield that drains directly to the existing swale along Route 85. This area includes the proposed developed portion of Lot #1 and a small portion of Lot #2.

Small non-development areas of the property that do not drain to specific locations but rather contribute small dispersed overland flows of runoff to properties to the west and south. These areas were not analyzed as there is no proposed development in these areas.

**None of the results of this revised report warrant any material change to the Subdivision Plan.**

The proposed subdivision of the property is depicted on the plans entitled "Ellenberg Subdivision, Church Street, Hebron, Connecticut", dated 12/1/23, revised to 1/31/24 (Plan). The proposed subdivision will divide the commercially zoned portion of the property (Zone NC) into three lots and the residentially zoned portion of the property (Zone R-1) into two lots.



The subject property is 26.98 acres and contains wooded and cleared areas. The majority of the cleared areas along Church Street are historically cultivated and planted to corn. The wooded areas contain areas of wetland soils that were field delineated by Ian Cole, soil scientist and are depicted on the plans.

## **Storm Water Management Considerations**

### Storm Water Quantity

With regard to the quantity of storm water emanating from the subject property we have designed the site such that there is no impact to peak discharges of storm water for rain events up to the 100-year storm event. In addition, the site design includes measures such that the runoff from the subject area will not exceed the predevelopment runoff response. The site development is designed to encourage infiltration and sheet flow of runoff such that contributions of storm water and ground water recharge to the adjacent wetland areas are maintained.

### Storm Water Quality

With regard to the quality of storm water leaving the site, the proposed Rain Gardens are designed and detailed in such a way to maximize their ability to trap sediment and renovate storm water. The rain gardens will store the recommended water quality volume and will substantially decrease total suspended solids in the storm water runoff from developed areas.

General erosion and sedimentation control guidelines are included in the plan. The development of the individual lots will require Site Plan Approval and review of the detailed erosion and sediment control plans that will accompany each proposed lot development.

The topography of the lots is such that storm water shall be managed for future lot development on a lot-by-lot basis and shall be designed in detail at the time each future lot development is contemplated and specifically for the proposed use. It should be noted that the storm water runoff response from the existing cultivated crop land is high, and the development of these lots will result in a significant amount of the cropland being planted to permanent grass thereby reducing the volume and peak discharge of runoff from the property. No public improvements are necessary to address storm water management on the property.

## **Pre-Development Conditions**

The subject property is 26.98 acres. The land along the eastern portion of the site is tilled for crop production. The majority of the remaining land is wooded wetlands.

The non-wetland soils on the site are dominated by poorly drained soils (Woodbridge soil series). These soils have moderate to high runoff potential.

The surface drainage emanating from the majority of the site flows overland toward the north to areas of wetlands and eventually the Jeremy River.



This analysis was focused on the eastern portion of the property where all of the proposed development will occur. There is no proposed development on the remainder of the property therefore storm water characteristics in these areas will not change.

For the purposes of analysis, the property was divided into two areas.

Analysis Point #1 (AP1), which is comprised of the majority of the area from the original analysis. An area of wooded wetlands along the west side of the property was added to this subarea (AP1). No development is contemplated in the wooded wetlands that were added to this subarea.

Analysis Point #2 (AP2), which is a 1.26-acre portion of the cornfield that drains directly to the existing swale along Route 85. This area includes the proposed developed portion of Lot #1 and a small portion of Lot #2.

The peak rates of runoff from these areas were estimated using the TR-20 Method (see attached computation sheets). The resulting peak discharges are summarized below.

**Pre-Development-peak discharge (cfs)**

	2 – yr.	10 – yr.	25 – yr.	100 – yr.
AP #1	11.86	22.71	29.72	40.65
AP #2	2.98	4.93	6.13	7.97

**Proposed Conditions**

The proposed subdivision of the property is depicted on the plans entitled “Ellenberg Subdivision, Church Street, Hebron, Connecticut”, dated 12/1/23, revised to 1/31/24 (Plan). The proposed subdivision will divide the commercially zoned portion of the property (Zone NC) into three lots and the residentially zoned portion of the property (Zone R-1) into two lots.

The proposed development of this area will not result in an increase in surface runoff. The establishment of grassed lawn areas over 60% of the site will decrease the estimated storm water runoff emanating from the site. Rain Gardens have been incorporated in the design to increase infiltration of runoff into the soil and improve the quality of the storm water runoff.

The peak rates of runoff for the proposed development were estimated using TR-20 Method (see attached computation sheets). The resulting peak discharges are summarized below.



**Post-Development Comparison- peak discharge (cfs)**

	2 – yr.	10 – yr.	25 – yr.	100 – yr.
AP #1				
Pre	11.86	22.71	29.72	40.65
Post	9.70	20.02	26.86	37.67
Net	-2.16 (-18.2%)	-2.16 (-18.2%)	-2.16 (-18.2%)	-2.16 (-18.2%)
AP #2				
Pre	2.98	4.93	6.13	7.97
Post	1.68	3.24	4.26	5.84
Net	-1.30 (-43.6%)	-1.69 (-34.3%)	-1.87 (-30.5%)	-2.13 (-26.7%)

**Conclusion:**

The establishment of grass over the majority of the proposed development area will maintain peak discharges and volume of runoff at or below pre-development conditions for storm events up to 100-year event, thus minimizing impacts to areas downstream. The proposed development will not adversely impact the drainage of the surface runoff on the site or in the surrounding area.

If you have any questions, please contact me at (860) 516-0033.

Sincerely,



Mark A. Reynolds, P.E. CT #19789



**Fwd: Appraisal - Old Colchester Rd, Hebron - Ellenberg**

Roderic Mccorrison &lt;rmccorrison@comcast.net&gt;

Wed 11/29/2023 10:22 AM

To: Matthew Bordeaux &lt;mbordeaux@hebronct.com&gt;

 2 attachments (2 MB)

23-159LN.DAC ((Map 12, Lot 18) Old Colchester Rd, Amston, CT 06231)\_invoice\_1.pdf; 23-159LN.DAC ((Map 12, Lot 18) Old Colchester Rd, Amston, CT 06231).pdf;

Matt; We have gotten an appraiser and have decided that we would pay the appraised amount as a fee in lieu of your open space requirements for the Ellenberg subdivision. Please respond to this communication as I have already spoken to Jim Cordier about this issue but I understand he is not available for a while.

Sent from my iPhone

Begin forwarded message:

**From:** Dennis Chanski <dachanski@gmail.com>**Date:** November 28, 2023 at 12:22:31 PM EST**To:** Roderic Mccorrison <rmccorrison@comcast.net>**Subject: Appraisal - Old Colchester Rd, Hebron - Ellenberg**

Good Afternoon Mac,

I have attached the appraisal and invoice for the subject property.

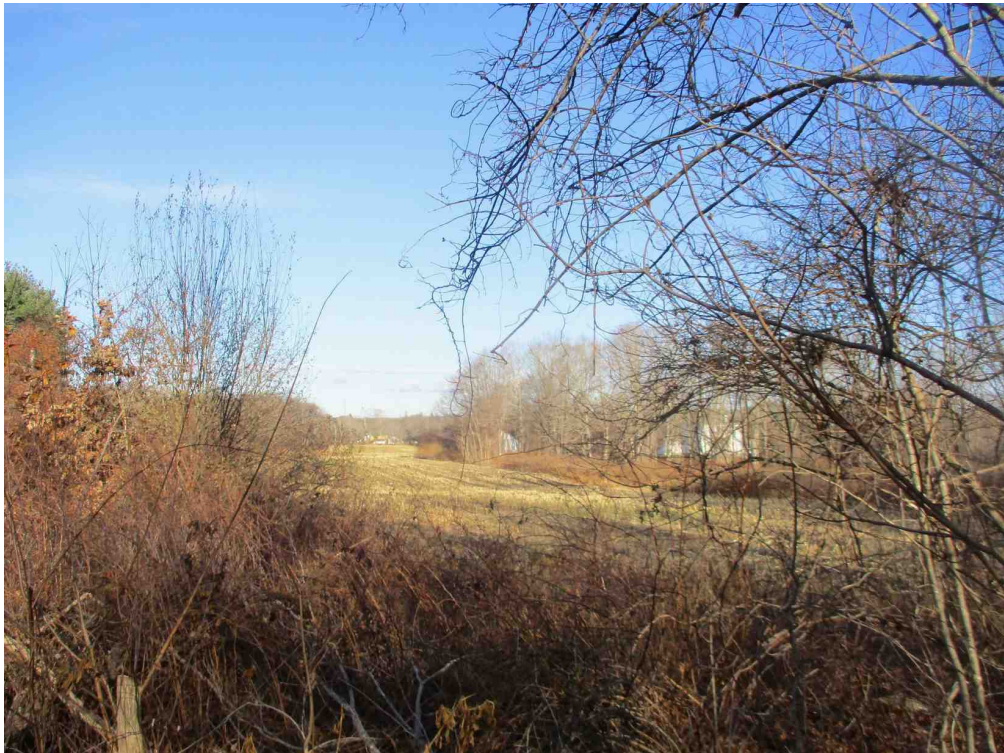
Have a great day!

Regards,  
Dennis

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



# Appraisal Report



## LOCATED AT

(Map18, Lot 12) Old Colchester Rd  
Hebron, CT 06231

As recorded in the Hebron land records in Volume 29, Page 518.

## FOR

David Ellenberg for Rhonda G. Ellenberg Trust  
1661 NW 143rd Terrace  
Pembroke Pines, FL 33028

## AS OF

10/16/2023

## BY

Dennis A. Chanski, SRA  
Speno Chanski Appraisal Associates  
P.O. Box 154  
Hebron, CT 06248  
(860) 530-1643  
dachanski@gmail.com







File No.: 23-159LN.DAC

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Form GPI ND - "TOTAL" appraisal software by a la mode, inc. - 1-800-AI AMODE 3/2007



### **ADDITIONAL COMPARABLE SALES**

File No.: 23-159LN.DAC

[illegible]



Client	David Ellenberg					
Property Address	(Map18, Lot 12) Old Colchester Rd					
City	Hebron	County	Tolland	State	CT	Zip Code 06231
Appraiser	Dennis A. Chanski, SRA					

SITE COMMENTS:

The section of the subject lot that is proposed to be identified as open space is located on the southeastern side of the lot. It is predominantly cleared of trees and vegetation, except for the areas that border the town road known as Old Colchester Rd and the abutting properties. The subject lot based on my view and the topography map is generally level. At the time of my inspection, the lot is only currently accessible from Church St. The survey map indicates and area of wetlands on the southeastern side of the site on the Old Colchester Rd side as noted in the draft survey map.

The subject site requires an onsite well and onsite septic due to public water and sewer not available at the subject lot location.

There are no apparent easements, encroachments, or other adverse conditions noted by the appraiser at the time of inspection. Based on the public sewer map, public sewers are not available across the entire frontage of the subject on Old Colchester Rd; however, it is not known if the portion of sewer that does run along the subject's frontage is capable of being used by the subject if it were a buildable lot. The subject's street does not have public water.

The draft survey site map of the entire parcel is included as an addendum which identifies approximately the area (not specifically) of the 5.32 acres that are the subject of this appraisal. The area highlighted is not the total site size of the subject acreage of the appraisal.

HIGHEST AND BEST USE

The Hypothetical Condition of the appraisal assignment is that the subject lot is unbuildable; therefore, the Highest and Best Use as non-buildable land is as surplus land to an abutter.

HYPOTHETICAL CONDITION and EXTRAORDINARY ASSUMPTION

USPAP Definition (Effective January 1, 2021, through December 31, 2023)

EXTRAORDINARY ASSUMPTION: an assignment -specific assumption as of the effective date regarding uncertain information used in an analysis which, if found to be false, could alter the appraiser's opinion or conclusions. Comment: Uncertain information might include physical, legal, or economic characteristics of the subject property; or conditions external to the property, such as market conditions or trends; or the integrity of data used in an analysis.

HYPOTHETICAL CONDITION: a condition, directly related to a specific assignment which is contrary to what is known by the appraiser to exist on the effective date of the assignment results but is used for the purpose of analysis.

SUMMARY SALES COMPARISON APPROACH

In order to obtain comparable sales, I searched the Hebron land records for the past three years of vacant land. All of the comparable sales selected are closed sales, they are verified in the town land records and through the Multiple Listing Service (MLS). They are the most similar to the subject in terms of size, utility, and marketability. They are representative of the market and are reasonable purchase alternatives to the subject. Equal emphasis has been placed on all comparable sales when reconciling my value opinion.

In identifying comparable sales, the subject's market area within the town of Hebron was searched. There were four sales identified as potential comparable sales they ranged from price \$17,000 - \$79,900 (Average: \$48,850, Median: \$49,250) and site size 2.34 - 5.75 acres (Average:4.08, Median: 4.12). Based on my review, analysis, and evaluation, the comparable sales included in this appraisal report are in my opinion the best comparable sales as compared to the subject.

The appraisal assignment is a Hypothetical Condition that the subject lot is not buildable. Therefore, the search for comparable land sales included unapproved lots that have not been approved, lots that are unbuildable, landlocked lots, as well as lots used for recreational use. The Highest and Best Use of these types of lots are typically purchased by abutters. Because of the limited sales and listing the search extended beyond the town of Hebron attempting to identify similar use closed sales and active or under contract listings.

The condition of the subject is based on my exterior inspection from the street, GIS images, and a conversation with the client. The comparable sales are based on the realtor comments in the MLS Data sheets, conversations with the realtor as indicated, and GIS images including site maps with wetland and topography data. All sales are located in the subject's market area within the town of Hebron, with three of the four sales within approximately two miles of the subject and one just greater than five miles of the subject. All of the comparables are closed sales, sales 1, 2 and 3 closed within the past five months and sale 4 closed within the past 14 months.

The lot size adjustment is based on a matched paired analysis of sales 1 and 4 and the approved lot adjustment is based on a matched paired analysis of sales 1 and 4 and sales 2 and 3.



Client	David Ellenberg					
Property Address	(Map18, Lot 12) Old Colchester Rd					
City	Hebron	County	Tolland	State	CT	Zip Code 06231
Appraiser	Dennis A. Chanski, SRA					

SUMMARY SALES COMPARISON APPROACH (continued)

Comparable 1 (Sale) - The Realtor comments in the MLS indicate: Potential Single Home site! 3.02-acre lot with 804' of road frontage on Old Colchester Road! Test Pits Data Available! The presence of ledge on the Southerly End of the property precludes a split of the lot. The lot at the time of purchase was an unapproved building lot. The lot had been on the market for 352 days starting with a list price of \$49,000 and selling for \$25,000. In speaking with the listing agent regarding the lot, the lot had been tested with the majority of the lot covered with ledge; and it was indicated that construction of an improvement on the lot would require considerable blasting. In reviewing the information from the lot testing from the Multiple Listing Service (MLS) on the listing, three locations had visible surface ledge and the other seven test holes noted ledge from 6" to 31" below the surface. Therefore, the cost of blasting may not be financially feasible for the typical buyer if other vacant land is available as an alternative.

Comparable 2 (Sale) - The Realtor comments in the MLS indicate: Beautiful Level Lot, 298' of road frontage.

Comparable 3 (Sale) - The Realtor comments in the MLS indicate: 5+ acre lot, overlooking a pond.

Comparable 4 (Sale) - The Realtor comments in the MLS indicate: level and treed lot of record can be built on but should be a raised foundation or crawl space as the lot is very flat and footings must be drained to a catch basin at the road. Very nice area, an excellent locale. Some wetlands. In speaking with the town planner regarding the lot, the subject has a significant amount of wetlands in the front section of the site which would require town approvals to cross which also may not make it financially not feasible if it were to be approved. Therefore, based on the best available information the sale is not considered a buildable lot.

The adjustments made to the comparable sales are for the difference in utility or amenities that either the subject or the comparable sales may or may not have. These adjustments are market driven and reflect what a typical, informed purchaser would or would not pay for the added or decreased utility of the items adjusted, rather than the cost to reproduce those items. All adjustments are rounded to the nearest \$100.

ENVIRONMENTAL HAZARDS

There were no negative environmental issues observed on or in close proximity to the site on the day of the appraisal walk-through. There were no known environmental hazards reported to the appraiser by third parties.

PHYSICAL CONDITIONS DISCLOSURES, DISCLAIMERS

The Appraiser is not recognized as a title search specialist. The Scope of Work for this appraisal does not include any title search activities. This appraisal is made with the Extraordinary Assumption there is a good title to the subject property with no deficiencies, covenants, restrictions, or other historical deed language beyond the current deed description that would negatively affect value or marketability.

This Appraiser has not provided any services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three years immediately preceding acceptance of this assignment.

The use of Extraordinary Assumptions and/or Hypothetical Conditions may have affected the assignment results.

FINAL RECONCILIATION

The sales comparison approach best reflects the actions of the typical purchaser. The Cost Approach is not developed, because the parcel is raw land with no improvements. The Income Approach was not developed, as vacant residential land is typically not sold for income potential. In developing my opinion of value, all comparable sales are vacant unimproved lots as compared to the subject.

In developing my opinion of value based on the Hypothetical Condition that the subject's 5.32 acres is unbuildable, the Sales Comparison Approach, all sales were evaluated, analyzed, and considered. The sales used were similar to the subject ranging from site size from 2.34 - 5.75 acres and and adjusted price from \$18,500 - \$27,300. Based on my evaluation and analysis, the comparable sales used bracketed the subject in price and site size, and all of the sales were considered and weighted equally in developing my opinion of value.



Subject Photos

Client	David Ellenberg					
Property Address	(Map18, Lot 12) Old Colchester Rd					
City	Hebron	County	Tolland	State	CT	Zip Code 06231
Appraiser	Dennis A. Chanski, SRA					



Site



Site



Site



Site



Street View (Southwesterly)



Street View (Northerly)



CERTIFICATE OF  
DEVISE, DESCENT  
OR DISTRIBUTION  
PC-350 REV. 1/92  
(PROC-58)

VOL. 348 PG. 628

STATE OF CONNECTICUT

RECORDED

COURT OF PROBATE

(File certificate with town clerk  
where real property is situated.)

## \*\*CORRECTED CERTIFICATE OF DEVISE, DESCENT OR DISTRIBUTION\*\*

COURT OF PROBATE, DISTRICT OF	HEBRON	DISTRICT NO. 067
ESTATE OF	SOL ELLENBERG deceased.	DATE OF DEATH July 18, 1998

Pursuant to C.G.S. §43a-450, this certifies that as appears from the records of this court, said deceased died on the date above written, and the following real property of the decedent is devised or distributed or set out or divided or descends to: (Give name, place of residence, and share of distributee; give street address or lot number of real property, or if none, a brief description of the location. C.G.S. §43a-450.) Rhoda G. Ellenberg, 6367 Pebble Creek Way, Boynton Beach, Florida, as Successor Trustee under Trust Agreement of Sol Ellenberg dated January 3, 1995, a full interest in the decedent's share in property located on Old Colchester Road and Church Street in Hebron, Connecticut and further described as follows:

Two certain tracts or parcels of land with any improvements thereon and appurtenances thereto situated in the Town of Hebron, County of Tolland and the State of Connecticut and being bounded and described as follows:

FIRST TRACT

North: By land formerly of the estate of Mrs. Frank Raymond;  
West: By land formerly of Ephraim Wilcox;  
South: By land formerly of William W. Jones and the highway leading from Hebron to Colchester; and  
East: By said highway leading from Hebron to Colchester  
Said first tract contains sixty-four (64) acres, more or less.

SECOND TRACT

North: By lands formerly of E.J. Wilcox and formerly of Sarah Greenberg;  
East: By the highway from Hebron to Colchester (the old road so-called);  
South: By land formerly of Frank Sierloff and land formerly of the Goldstein and formerly of David Shmelzky; and  
West: By land formerly of Mrs. E.T. Smith and by land formerly of Percy Johnson and the chapel of Heber's Pond.

Said second tract contains seventy (70) acres more or less.

Said first tract and second tract are all the same premises described in a quit claim deed from Clara Ellenberg to Sol Ellenberg dated November 29, 1957 and recorded in volume 29 at page 517 of the Hebron land records.

EXCEPTING from said first tract and said second tract the land described in the following four deeds:

1. A warranty deed from Sol Ellenberg to William and Sylvia Berkowitz dated February 18, 1973 and recorded in volume 77 at page 516 of the Hebron land records.
2. A warranty deed from Sol Ellenberg to William and Sylvia Berkowitz date September 9, 1974 and recorded in volume 83 at page 336 of the Hebron land records.
3. A warranty deed from Sol Ellenberg to Mayson, McCristian and Dufford dated June 30, 1978 and recorded in volume 94 at page 124 of the Hebron land records.
4. A quit claim deed from Sol Ellenberg to Maurice and Diane Kessler date October 8, 1996 and recorded in volume 179 at page 881 of the Hebron land records.

The premises described herein after subtracting the land conveyed out in the above referenced four deeds contains 26.97 acres by estimation and is situated on the northerly side of Old Colchester Road and the westerly side of Connecticut Route number 85 also known as Church Street in said town of Hebron.

This certificate corrects the devise in a Certificate of Devise, Descent or Distribution dated March 19, 2002 and recorded April 3, 2002 in Volume 281, page 36 of the Hebron Land Records.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seal of this court on this

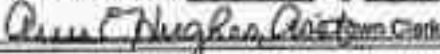
Court  
Seal

25th day of July  
  
KEVIN C. CONNORS

, 2002

Judge, Associate

FOR TOWN CLERK'S USE ONLY  
Received Aug 6, 2003 AT 8:14 P  
Recorded in Town of Hebron  
Land Records-Vol. 348 Page 628

  
Kevin C. Connors, Town Clerk

FOR COURT USE ONLY

Original in:

Date Sent:

CERTIFICATE OF DEVISE, DESCENT OR DISTRIBUTION 3310  
PC-350



VOL. 237 PAGE 030

CERTIFICATE OF NOTICE FOR  
LAND RECORDS (PC-251)

STATE OF CONNECTICUT  
COURT OF PROBATE

Recorded:  
Page: 1

Court of Probate, District of Naugatuck  
District Number 067

99-0037

IN THE MATTER OF: SOL ELLENBERG

Date of Certificate: 01/23/01

Date of Death: 01/17/1998

Place where last dwelt: Boynton Beach, FL

Died: Testate

Fiduciary:

Rhoda G. Ellenberg, 6367 Pebble Creek Way, Boynton Beach, FL 33437

Fiduciary's Position of Trust: ANCILLARY FIDUCIARY

Date of Appointment: 08/26/1999

This certificate is made and caused to be recorded in the land records  
of the town wherein the said decedent was the owner of real property  
or any interest therein, or a mortgage or lien upon real property.

*Rhoda G. Ellenberg*

Rhoda G. Ellenberg, ANCILLARY FIDUCIARY

As used in this document, the word fiduciary includes the plural,  
where the context so requires.

*James K. Brown, Clerk*  
Jury of the Town of Naugatuck  
Jury of the Town of Naugatuck  
Jury of the Town of Naugatuck



VOL 281 PL 036

CERTIFICATE OF  
DEVISE, DESCENT  
OR DISTRIBUTION  
PC-290 REV. 1/92  
(PRC-38)

STATE OF CONNECTICUT

RETURNED

COURT OF PROBATE

(File certificate with town clerk  
where real property is situated.)

COURT OF PROBATE, DISTRICT OF	Hatfield	DISTRICT NO. 067
ESTATE OF	ROL. ELLERBERG	DATE OF DEATH 1/17/98

Pursuant to C.G.S. §45a-45b, this certifies that as appears from the records of this court, said Decedent died on the date above written, and the following real property of the decedent is devised or distributed as set out or divided or descends to: (Give name, place of residence, and share of distributee; give street address or lot number of real property, or if none, a brief description of the location. C.G.S. §45a-45b.)

Shirley G. Ellenberg, 6367 Pebble Creek Way, Bryson Beach, Florida, a full interest in the decedent's share in property located on Old Colchester Road and Church Street in Hatfield, Connecticut and further described as follows:

Two certain tracts or parcels of land with any improvements thereon and appurtenant lands situated in the Town of Hatfield, County of Tolland and the State of Connecticut and being bounded and described as follows:

**FIRST TRACT**

North: By land formerly of the estate of Mrs. Frank Raymond;  
West: By land formerly of Hyndrick Wilson;  
South: By land formerly of William W. Jones and the Highway leading from Hatfield to Colchester; and  
East: By said Highway leading from Hatfield to Colchester  
Said tract contains sixty-five (65) acres, more or less.

**SECOND TRACT**

North: By land formerly of E.L. Wilson and formerly of Sarah Connelley;  
East: By the Highway from Hatfield to Colchester (the old road so-called);  
South: By land formerly of Frank Siroff and land formerly of the Colchester and formerly of David Haskins; and  
West: By land formerly of Mrs. S.T. Smith and by land formerly of Perry Johnson and the estate of Barber's Pond.

Said second tract contains seventy (70) acres more or less.

Said first tract and second tract are all and the same premises described in a quit claim deed from Clara Ellenberg to Rol Ellenberg dated November 28, 1937 and recorded in volume 28 at page 517 of the Hatfield land records.

**EXCEPTED** there said first tract and said second tract the land described in the following four deeds:

1. A warranty deed from Rol Ellenberg to William and Sylvia Decker dated February 10, 1912 and recorded in volume 77 at page 211 of the Hatfield land records.
2. A warranty deed from Rol Ellenberg to William and Sylvia Decker dated September 8, 1934 and recorded in volume 87 at page 231 of the Hatfield land records.
3. A warranty deed from Rol Ellenberg to Meggers, McCorteen and Defford dated June 30, 1976 and recorded in volume 94 at page 124 of the Hatfield land records.
4. A quit claim deed from Rol Ellenberg to Marlene and Diana Knicker dated October 8, 1990 and recorded in volume 179 at page 88 of the Hatfield land records.

The premises described herein after subtracting the land conveyed out to the above referenced four deeds contains 26.37 acres by calculation and is situated on the westerly side of Old Colchester Road and the westerly side of Connecticut Route number 62 also known as Church Street in said town of Hatfield.

For a more particular description, reference should be made to the records of said probate court.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seal of this court on this

Court  
Seal

1998

day of March, 2002.

1200

*Cynthia Lynch*  
Cynthia Lynch

Judge of Probate

FOR TOWN CLERK'S USE ONLY  
Received *April 3, 2002 10:15 AM*  
Recorded in Town of Hatfield  
Land Records - Vol. 291 Page 36  
*Cathy Reynolds* Town Clerk

FOR COURT USE ONLY

Original in  
Date Sent

CERTIFICATE OF DEVISE, DESCENT OR DISTRIBUTION  
PC-290

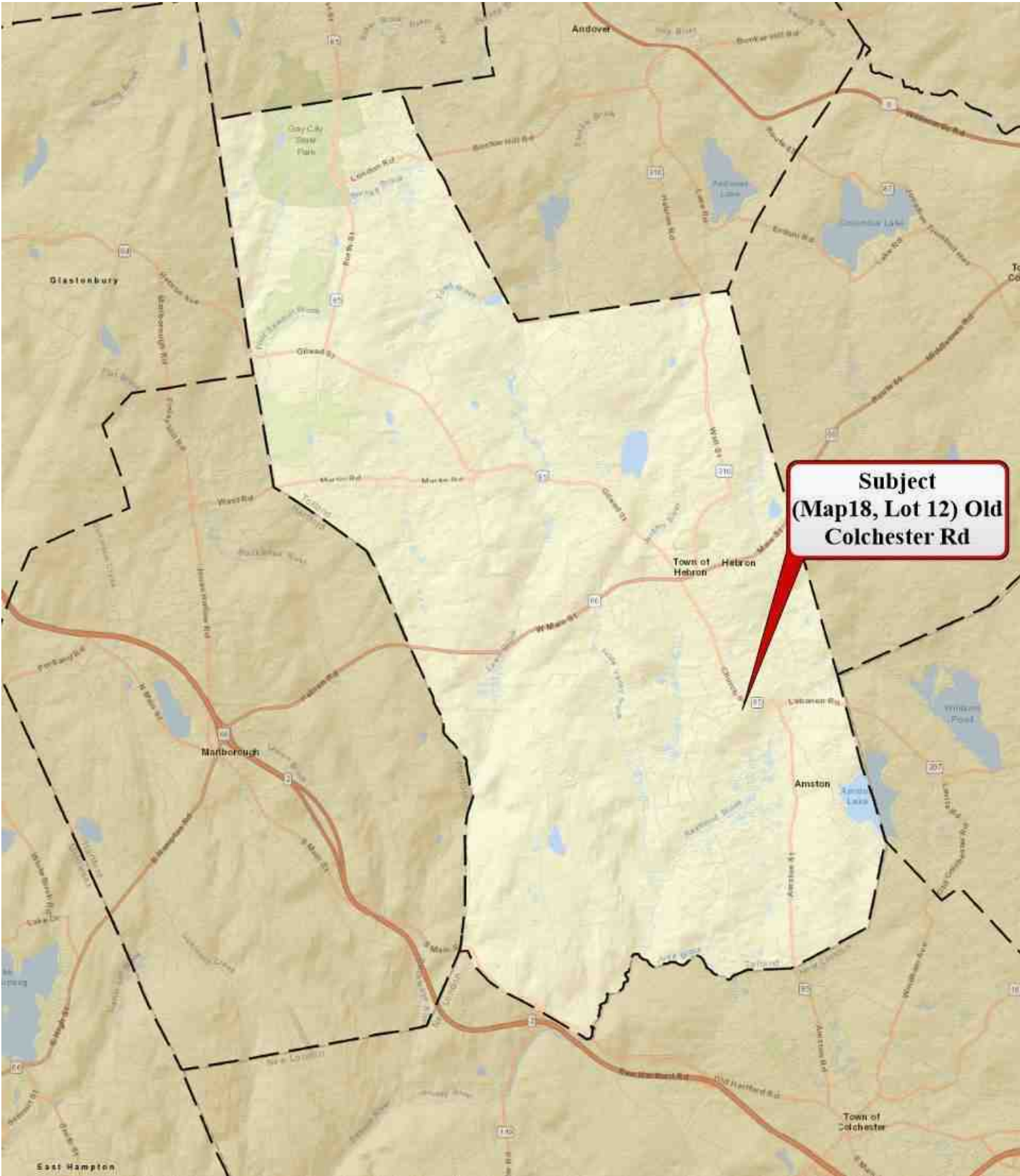
894





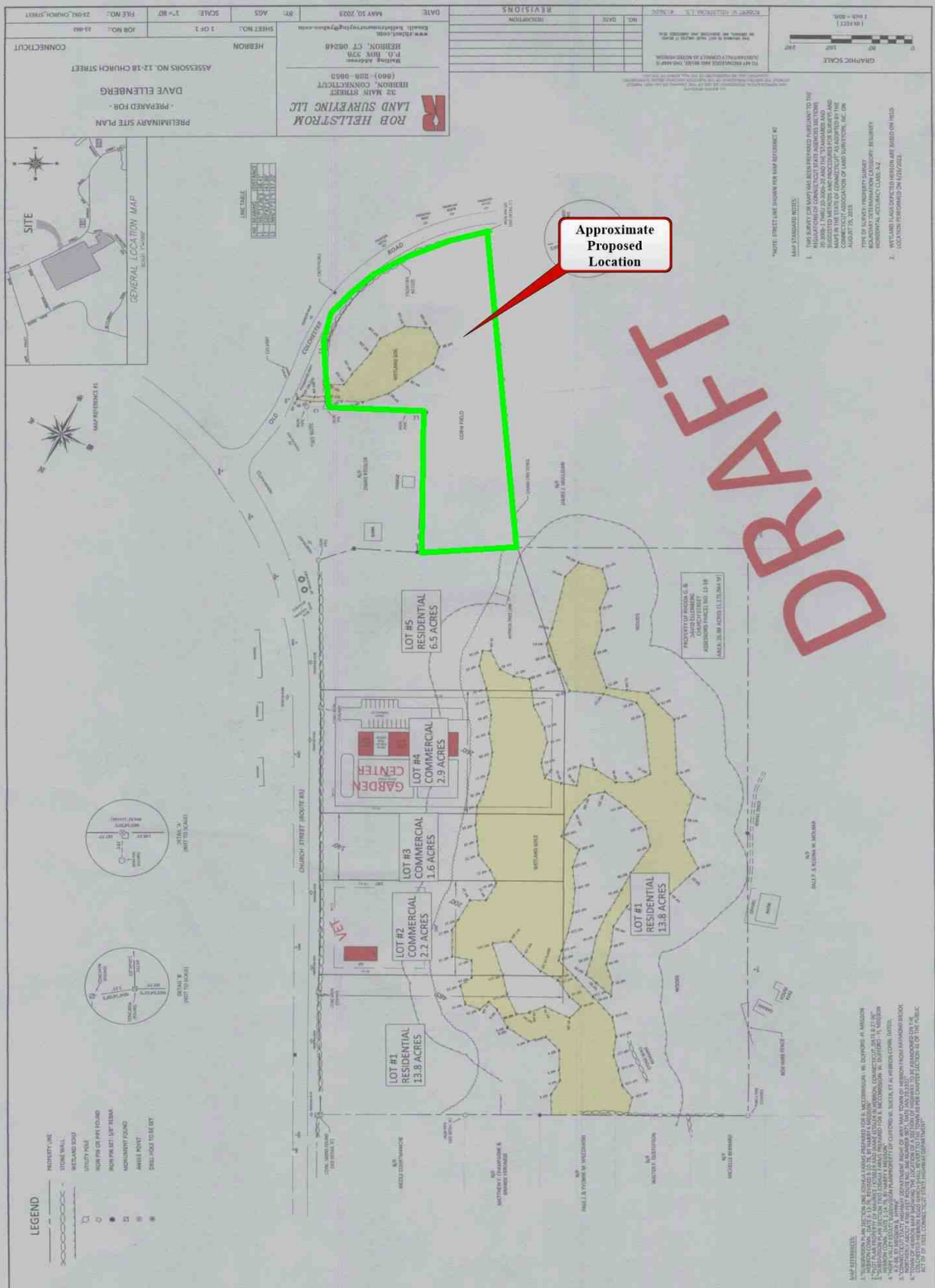


Lot Location Within Town of Hebron



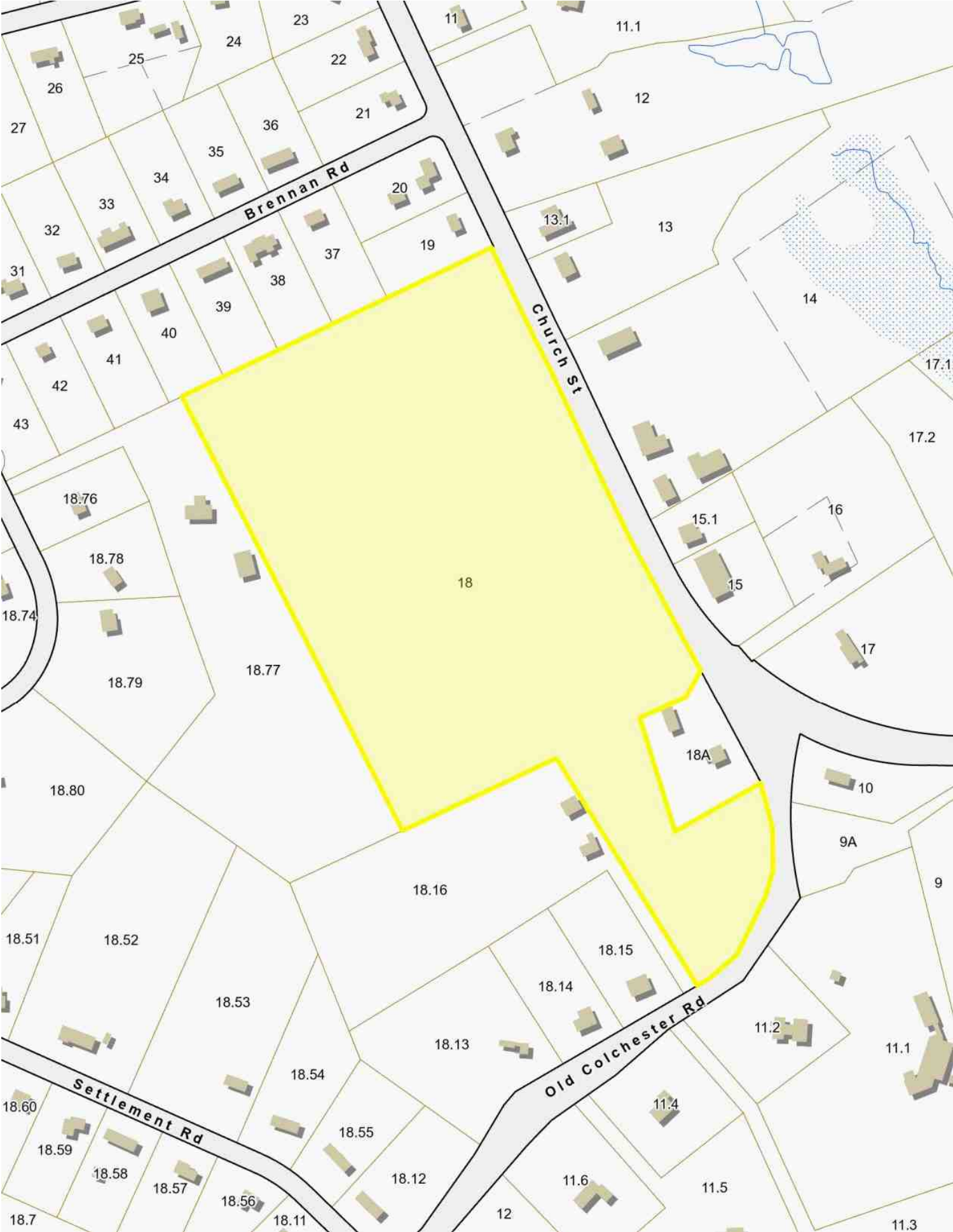


## Survey Map (Draft)





Site Map





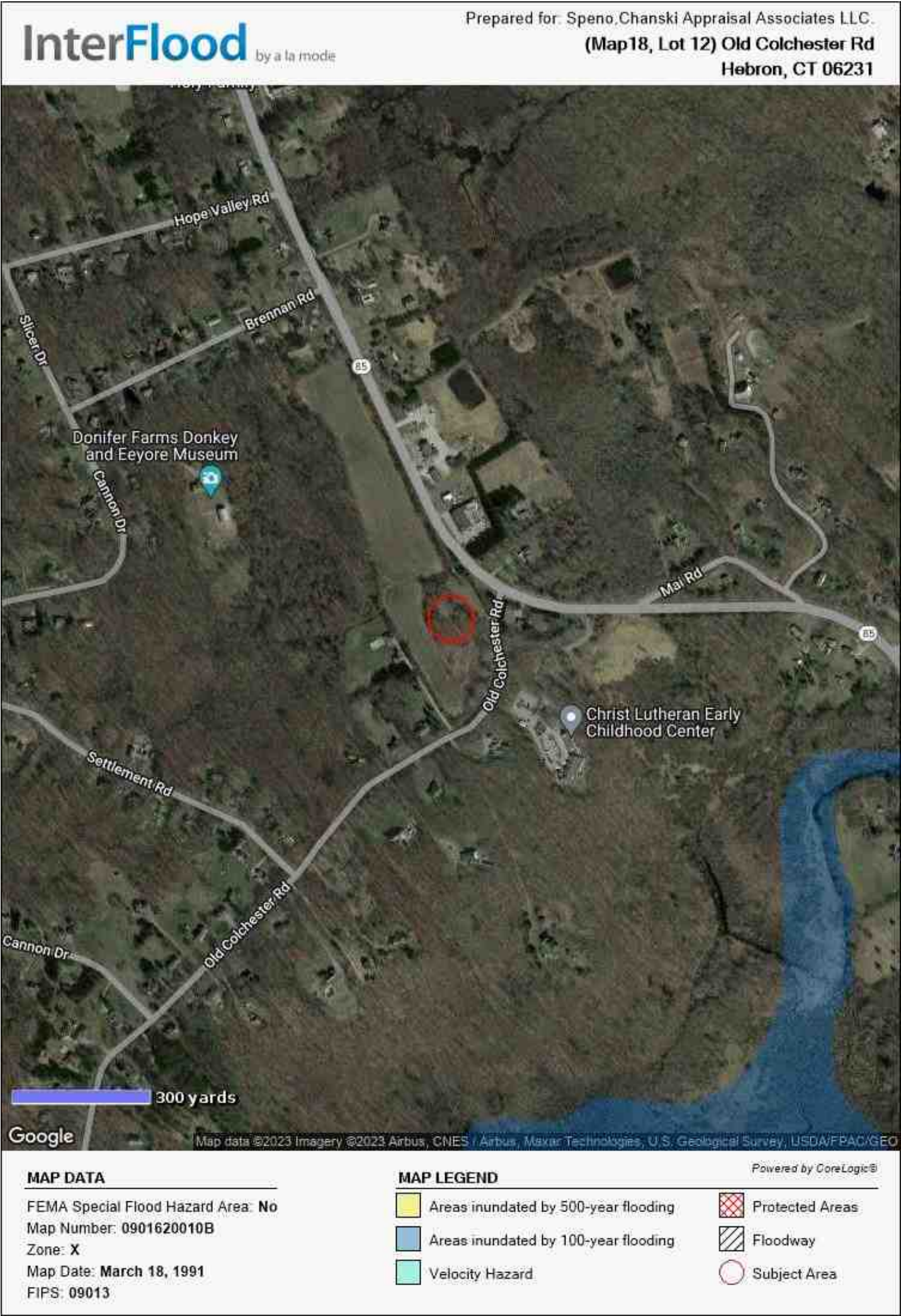
Aerial Photo





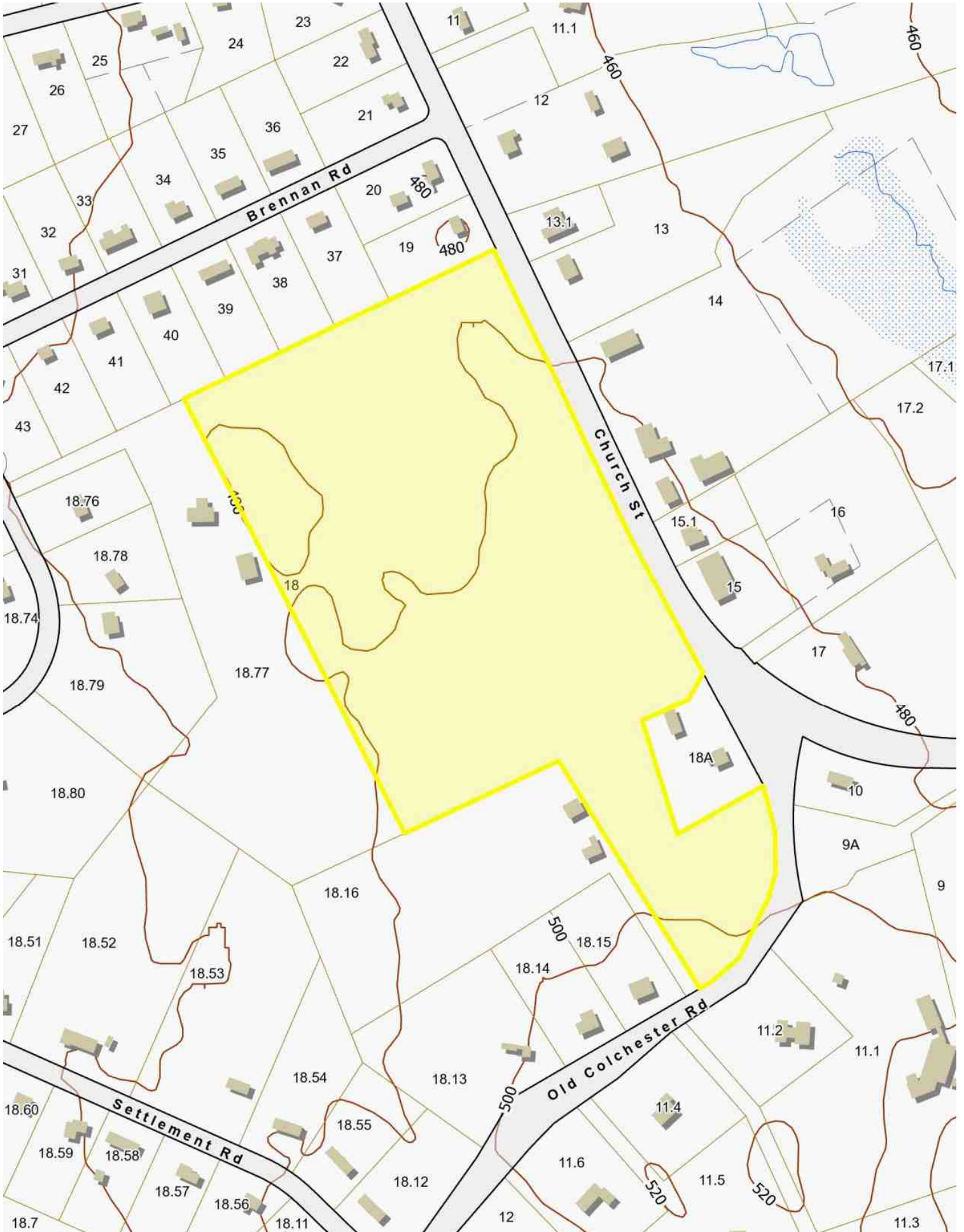
Flood Map

Client	David Ellenberg					
Property Address	(Map18, Lot 12) Old Colchester Rd					
City	Hebron	County	Tolland	State	CT	Zip Code 06231
Appraiser	Dennis A. Chanski, SRA					



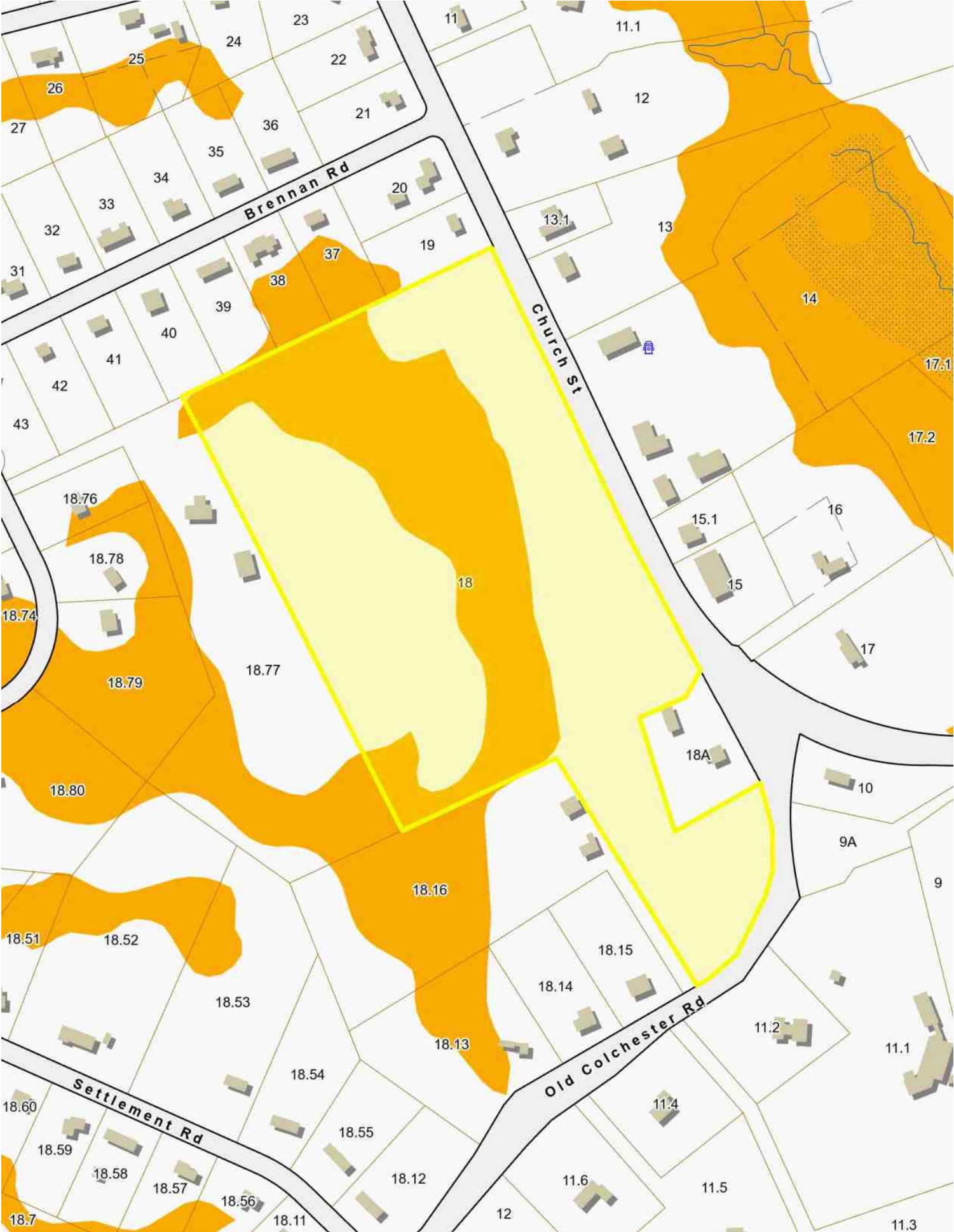


## Topography Map



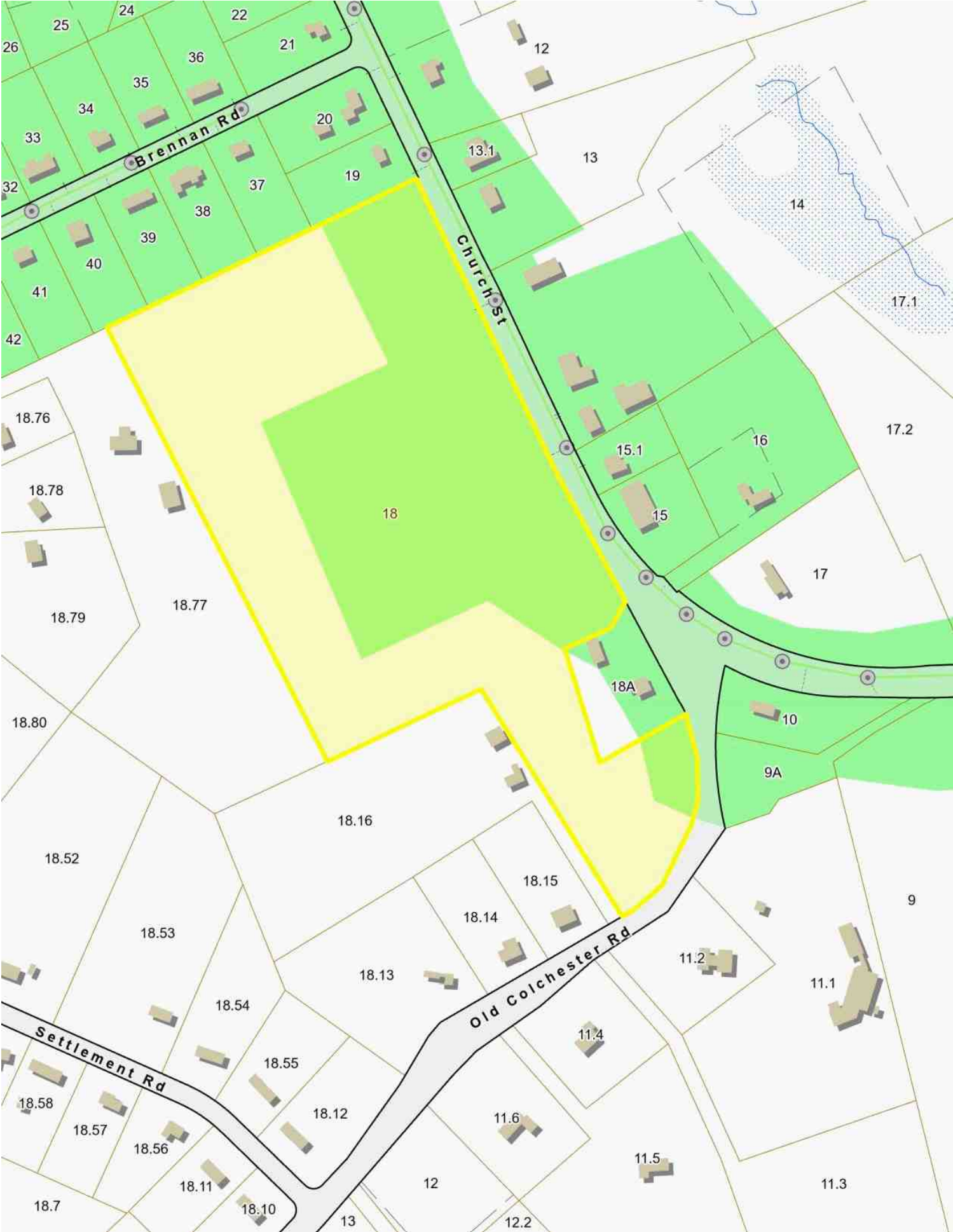


Wetland Map





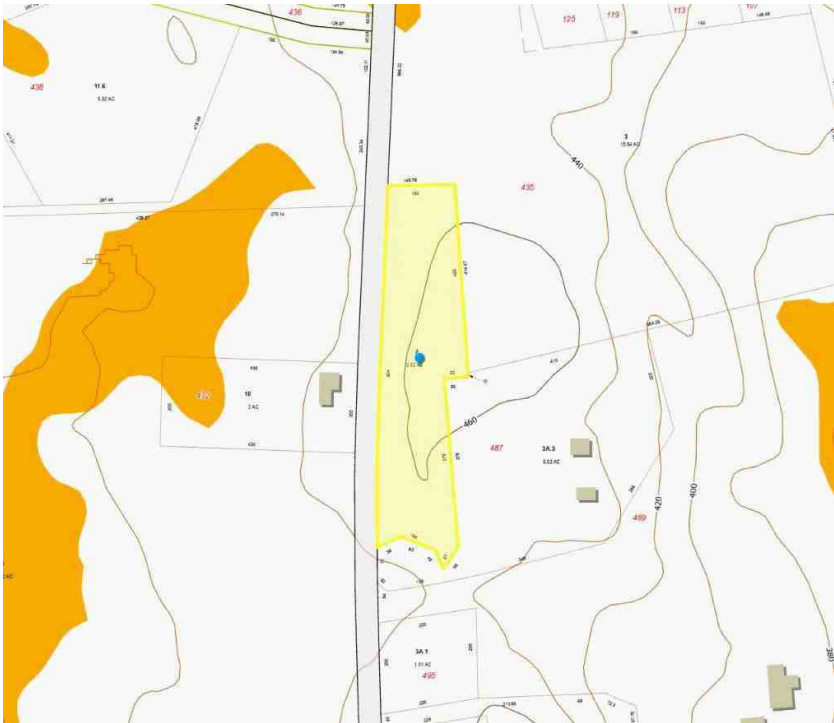
Sewer Map





## Comparable Photo Page

Client	David Ellenberg						
Property Address	(Map18, Lot 12) Old Colchester Rd						
City	Hebron	County	Tolland	State	CT	Zip Code	06231
Appraiser	Dennis A. Chanski, SRA						



## Comparable 1

(Map 18. L 4) Old Colchester Rd

Prox. to Subject 1.99 miles S

Sale Price	25,000
------------	--------

Gross Living Area

Total Rooms

Total Bedrooms

Total Bathrooms

Location	Average
----------	---------

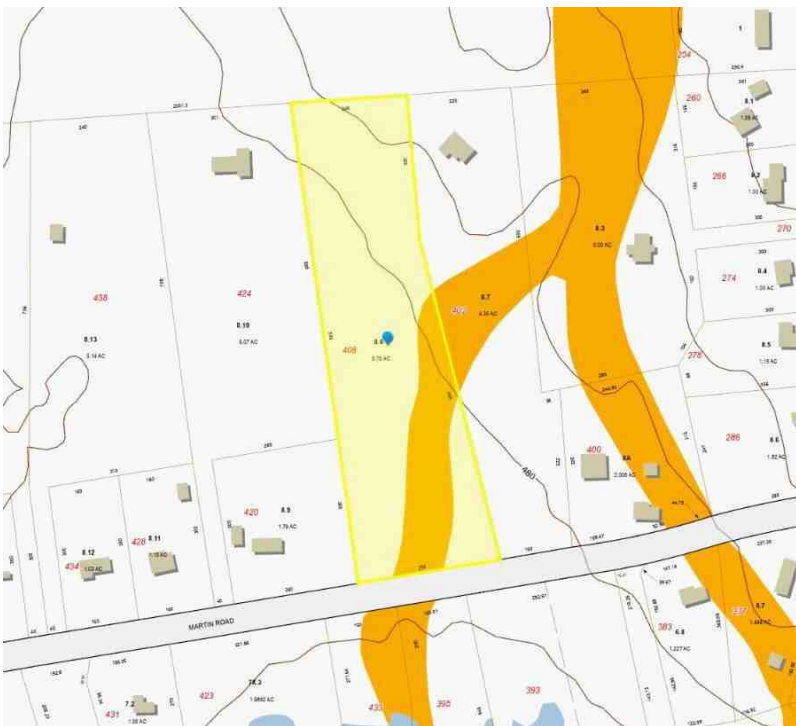
View

Site 3.02 Acres

## Quality

Age

Age



## Comparable 2

408 Martin Rd

Prox. to Subject      5.20 miles NW

Sale Price	73,500
------------	--------

Gross Living Area

Total Rooms

Total Bedrooms

Total Bathrooms

Location	Average
----------	---------

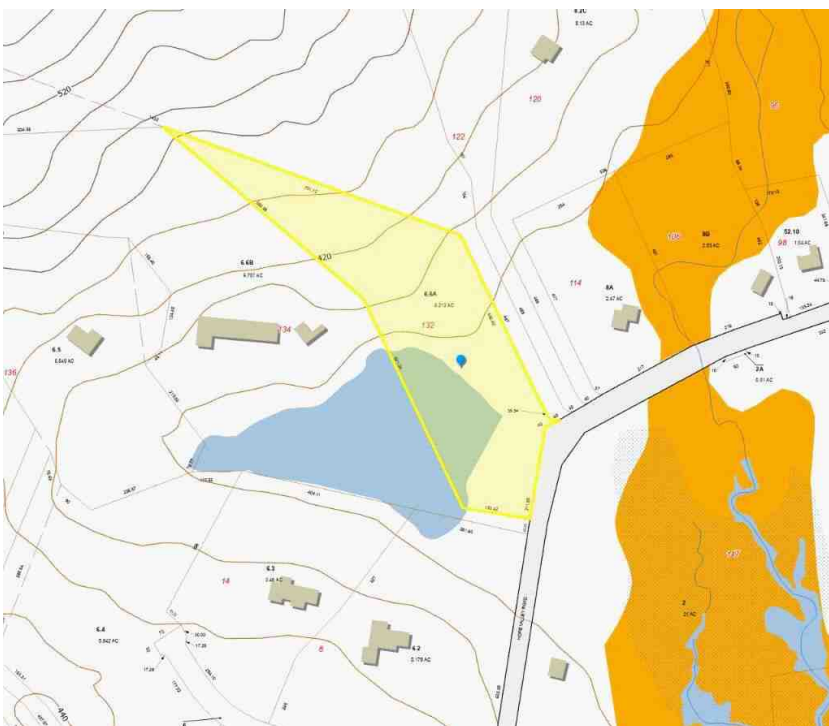
View

Site	5.75 Acres
------	------------

Quality

Age

Age



### Comparable 3

132 Hope Valley Rd

Prox. to Subject 0.75 miles NW

Sale Price	79,900
------------	--------

Gross Living Area

Total Rooms

Total Bedrooms

Total Bathrooms

Location	Average
----------	---------

View

Site 5.21 Acres

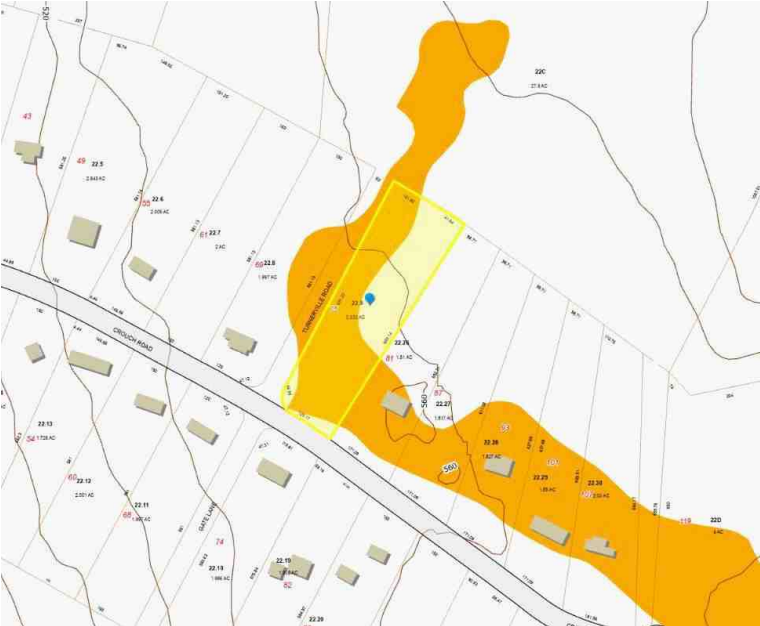
Quality

Age



Comparable Photo Page

Client	David Ellenberg					
Property Address	(Map18, Lot 12) Old Colchester Rd					
City	Hebron	County	Tolland	State	CT	Zip Code 06231
Appraiser	Dennis A. Chanski, SRA					



Comparable 4

75 Crouch Rd	
Prox. to Subject	2.03 miles SE
Sales Price	17,000
Gross Living Area	
Total Rooms	
Total Bedrooms	
Total Bathrooms	
Location	Average
View	
Site	2.34 Acres
Quality	
Age	



Location Map

Client	David Ellenberg				
Property Address	(Map18, Lot 12) Old Colchester Rd				
City	Hebron	County	Tolland	State	CT
Appraiser	Dennis A. Chanski, SRA	Zip Code	06231		





Assumptions, Limiting Conditions & Scope of Work

File No.: 23-159LN.DAC

Property Address:	(Map18, Lot 12) Old Colchester Rd	City:	Hebron	State:	CT	Zip Code:	06231
Client:	David Ellenberg	Address:	1661 NW 143rd Terrace, Pembroke Pines FL 33028				
Appraiser:	Dennis A. Chanski, SRA	Address:	P.O. Box 154, Hebron, CT 06248				

**STATEMENT OF ASSUMPTIONS & LIMITING CONDITIONS**

- The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is appraised on the basis of it being under responsible ownership.
- The appraiser may have provided a sketch in the appraisal report to show approximate dimensions of the improvements, and any such sketch is included only to assist the reader of the report in visualizing the property and understanding the appraiser's determination of its size. Unless otherwise indicated, a Land Survey was not performed.
- If so indicated, the appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in the appraisal report whether the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
- The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand.
- If the cost approach is included in this appraisal, the appraiser has estimated the value of the land in the cost approach at its highest and best use, and the improvements at their contributory value. These separate valuations of the land and improvements must not be used in conjunction with any other appraisal and are invalid if they are so used. Unless otherwise specifically indicated, the cost approach value is not an insurance value, and should not be used as such.
- The appraiser has noted in the appraisal report any adverse conditions (including, but not limited to, needed repairs, depreciation, the presence of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property, or that he or she became aware of during the normal research involved in performing the appraisal. Unless otherwise stated in the appraisal report, the appraiser has no knowledge of any hidden or unapparent conditions of the property, or adverse environmental conditions (including, but not limited to, the presence of hazardous wastes, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, the appraisal report must not be considered as an environmental assessment of the property.
- The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items that were furnished by other parties.
- The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice, and any applicable federal, state or local laws.
- If this appraisal is indicated as subject to satisfactory completion, repairs, or alterations, the appraiser has based his or her appraisal report and valuation conclusion on the assumption that completion of the improvements will be performed in a workmanlike manner.
- An appraiser's client is the party (or parties) who engage an appraiser in a specific assignment. Any other party acquiring this report from the client does not become a party to the appraiser-client relationship. Any persons receiving this appraisal report because of disclosure requirements applicable to the appraiser's client do not become intended users of this report unless specifically identified by the client at the time of the assignment.
- The appraiser's written consent and approval must be obtained before this appraisal report can be conveyed by anyone to the public, through advertising, public relations, news, sales, or by means of any other media, or by its inclusion in a private or public database.
- An appraisal of real property is not a 'home inspection' and should not be construed as such. As part of the valuation process, the appraiser performs a non-invasive visual inventory that is not intended to reveal defects or detrimental conditions that are not readily apparent. The presence of such conditions or defects could adversely affect the appraiser's opinion of value. Clients with concerns about such potential negative factors are encouraged to engage the appropriate type of expert to investigate.

**The Scope of Work is the type and extent of research and analyses performed in an appraisal assignment that is required to produce credible assignment results, given the nature of the appraisal problem, the specific requirements of the intended user(s) and the intended use of the appraisal report. Reliance upon this report, regardless of how acquired, by any party or for any use, other than those specified in this report by the Appraiser, is prohibited. The Opinion of Value that is the conclusion of this report is credible only within the context of the Scope of Work, Effective Date, the Date of Report, the Intended User(s), the Intended Use, the stated Assumptions and Limiting Conditions, any Hypothetical Conditions and/or Extraordinary Assumptions, and the Type of Value, as defined herein. The appraiser, appraisal firm, and related parties assume no obligation, liability, or accountability, and will not be responsible for any unauthorized use of this report or its conclusions.**

**Additional Comments (Scope of Work, Extraordinary Assumptions, Hypothetical Conditions, etc.):**

The Scope of Work for this appraisal assignment consists of me, Dennis A. Chanski, SRA, physically inspected the subject, researching the Multiple Listing Service (MLS) records for this type of property and researching the land records for the subject town and verifying the data presented in this report. The comparable sales presented are inspected from the street and sales data is verified through the MLS and the town land records.

**APPRAISAL DEVELOPMENT AND REPORTING PROCESS:**

This is an Appraisal Report which is intended to comply with the reporting requirements set forth under Standards Rule 2-2(a) of the Uniform Standards of Professional Appraisal Practice for an Appraisal Report. As such, it presents only summary discussions of the data, reasoning, and analyses that were used in the appraisal process to develop the appraiser's opinion of value. Supporting documentation that is not provided with the report concerning the data, reasoning, and analyses is retained in the appraiser's file. The depth of the discussion contained in this report is specific to the needs of the client and for the intended use stated in the report. The appraiser is not responsible for unauthorized use of this report.


To develop the opinion of value, the appraiser performed a limited appraisal process, as defined by the Uniform Standards of Professional Appraisal Practice.

The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics & Standards of Professional Appraisal Practice of the Appraisal Institute, which include the Uniform Standards of Professional Appraisal Practice. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.



Certifications & Definitions

File No.: 23-159LN.DAC

Property Address: (Map18, Lot 12) Old Colchester Rd		City: Hebron		State: CT		Zip Code: 06231			
Client: David Ellenberg		Address: 1661 NW 143rd Terrace, Pembroke Pines FL 33028							
Appraiser: Dennis A. Chanski, SRA		Address: P.O. Box 154, Hebron, CT 06248							
<b>APPRAISER'S CERTIFICATION</b> I certify that, to the best of my knowledge and belief: - The statements of fact contained in this report are true and correct. - The credibility of this report, for the stated use by the stated user(s), of the reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions. - I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved. - I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment. - My engagement in this assignment was not contingent upon developing or reporting predetermined results. - My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal. - My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared. - I did not base, either partially or completely, my analysis and/or the opinion of value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property, or of the present owners or occupants of the properties in the vicinity of the subject property. - Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.  <b>Additional Certifications:</b>  As of the date of this report, I have completed the continuing education program of the Appraisal Institute. My state of Connecticut Certified Residential Appraiser license is current and the required continuing education is completed for the present licensing cycle.  <b>DEFINITION OF MARKET VALUE *:</b> Market value means the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby: 1. Buyer and seller are typically motivated; 2. Both parties are well informed or well advised and acting in what they consider their own best interests; 3. A reasonable time is allowed for exposure in the open market; 4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and 5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale. * This definition is from regulations published by federal regulatory agencies pursuant to Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA) of 1989 between July 5, 1990, and August 24, 1990, by the Federal Reserve System (FRS), National Credit Union Administration (NCUA), Federal Deposit Insurance Corporation (FDIC), the Office of Thrift Supervision (OTS), and the Office of Comptroller of the Currency (OCC). This definition is also referenced in regulations jointly published by the OCC, OTS, FRS, and FDIC on June 7, 1994, and in the Interagency Appraisal and Evaluation Guidelines, dated October 27, 1994.									
Client Contact: Roderic McCorrison		Client Name: David Ellenberg							
E-Mail: rmccorrison@comcast.net		Address: 1661 NW 143rd Terrace, Pembroke Pines FL 33028							
SIGNATURES	APPRAISER		SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)						
									
	Appraiser Name: Dennis A. Chanski, SRA		Supervisory or Co-Appraiser Name: _____						
	Company: Speno Chanski Appraisal Associates		Company: _____						
	Phone: (860) 530-1643		Fax: (860) 530-1643		Phone: _____			Fax: _____	
	E-Mail: dachanski@gmail.com		E-Mail: _____						
	Date Report Signed: 11/28/2023		Date Report Signed: _____						
	License or Certification #: RCR.1993		State: CT		License or Certification #: _____			State: _____	
	Designation: Certified Residential Appraiser		Designation: _____						
	Expiration Date of License or Certification: 04/30/2024		Expiration Date of License or Certification: _____						
Inspection of Subject: <input checked="" type="checkbox"/> Did Inspect <input type="checkbox"/> Did Not Inspect (Desktop)		Inspection of Subject: <input type="checkbox"/> Did Inspect <input type="checkbox"/> Did Not Inspect							
Date of Inspection: 10/16/2023		Date of Inspection: _____							







January 3, 2024

Mr. Mathew Bordeaux  
Director of Planning and Development  
Town of Hebron  
15 Gilead Street  
Hebron, CT 06248

Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
NLJA #0647-0289

Dear Mr. Bordeaux:

As requested, we have reviewed the following information for the subject project received at our office through December 8, 2024:

- Item 1: Subdivision Application with attached project information including: Subdivision Application Checklist, Assessor Parcel Mapping, Abutters List and Application for Inlands Wetlands and Watercourse Permit and supporting materials.
- Item 2: Drawing titled "Existing Conditions Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, prepared by Rob Hellstrom Land Surveying , LLC.
- Item 3: Drawing titled "Subdivision Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, prepared by Rob Hellstrom Land Surveying , LLC.
- Item 4: Drawing titled "Site Development Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, prepared by Rob Hellstrom Land Surveying , LLC.
- Item 5: Drawing titled "Notes & Details Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale as noted, dated December 1, 2023, prepared by Rob Hellstrom Land Surveying , LLC.
- Item 6: Letter Report from Mark Reynolds P.E to David Ellenberg titled "Engineering Considerations , Ellenberg Subdivision Church Street Hebron, CT project no. 23-092," dated November 30, 2023.

The subject application proposes a subdivision of five (5) lots (two (2) residential and three (3) commercial) on a 26.98-acre parcel which has frontage on Church Street (CT Route 85) and Old Colchester Road. The three commercial lots are located on the west side of Church Street within the Neighborhood Convenience





Mr. Mathew Bordeaux  
Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
NLJA #0647-0289  
January 3, 2023  
Page 2

District. The two residential lots are located to the north and south within the Residence-1 Zone. Although driveway locations are not shown on the submitted plan, it is presumed all lots will have driveway access from Church Street. Although not detailed on the submitted plans, but based on location within the sewer service district, connection to existing public sewer is proposed. In this regard, building locations should be shown so that their relationship to the sewer district can be confirmed. Also not shown on existing plans, but discussed in the Engineer's Report, water service is to be by individual wells. No public improvements are proposed.

We have the following comments:

1. The submitted plans include a Site Development Plan, however no proposed site improvements are shown. Section 5.5B.1 of the Hebron Subdivision Regulations (Regulations) requires that the Site Development Plan include existing and proposed contours. Section 5.5B.9 of that Section requires that the plan include the proposed house or structure, subsurface sewage disposal area, reserve area, well location, well protection radii, yard drains and points of discharge of all yard drains, all subsurface drains, and driveway location for each lot of the subdivision.
2. An Erosion and Sedimentation Control Plan as required in Section 5.5D of the Regulations has not been provided. The drawings include general erosion and sedimentation control guidelines however this does not provide the elements of the plan as required in Items a through f of the referenced Section.
3. An Engineer's Report has been provided as required in Section 5.5E of the Regulations. However, the Report does not provide a narrative describing the proposed development, as required in that Section.
4. A Stormwater Management Plan as required in Section 5.5G of the Subdivision Regulations has not been provided. The Engineer's Report addresses this by noting that stormwater shall be managed for future lot development on a lot-by-lot basis and shall be designed in detail at the time each future lot development is contemplated and specifically for the proposed use. We are not aware of a provision in the Regulations that allows this approach. The Report goes on to state that stormwater runoff response from the existing cultivated crop land is high, and the development of these lots will result in a significant amount of cropland being planted to permanent grass thereby reducing the volume of runoff from the property. While this may be the case for the change from cropland to grass, the development will also result in new impervious surfaces and likely changes in stormwater conveyance which will increase volume and peak discharge of stormwater runoff. Without a development plan and a pre-development and post-development drainage analysis, an evaluation of the impacts from stormwater runoff and determination of any required mitigation measures cannot be made.
5. The Engineer's Report indicates that individual evaluations of driveway sightline will be prepared and reviewed for each individual lot as the development proceeds and that the sightline for the Lot 4/5 area was evaluated in detail by the Engineer as part of their work. As noted above, driveway locations





Jacobson

Mr. Mathew Bordeaux  
Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
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Page 3

should be shown on the submitted Site Development Plan and any specific sightline analyses should be included with the application materials

If there are any questions, please feel free to contact me.

Sincerely yours,

NATHAN L. JACOBSON & ASSOCIATES, INC.

Thomas H. Fenton, P.E

THF:thf

cc: Andrew Tierney,  
Paul Forrest  
Jim Cordier  
Mark A. Reynolds, P.E.





January 26, 2024

Mr. Mathew Bordeaux  
Director of Planning and Development  
Town of Hebron  
15 Gilead Street  
Hebron, CT 06248

Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
Engineering Review-Revised Submission  
NLJA #0647-0289

Dear Mr. Bordeaux:

As requested, in addition to the items previously noted in our January 3, 2024 review letter, we have reviewed the following information for the subject project received at our office by email attachment through January 23, 2024:

- Item 1: Drawing titled "Existing Conditions Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, and revised 1/10/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item2: Drawing titled "Subdivision Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, and revised 1/10/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item 3: Drawing titled "Site Development Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, and revised 1/10/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item 4: Drawing titled "Notes & Details Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale as noted, dated December 1, 2023, and revised 1/10/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item 5: Letter Report from Mark Reynolds P.E to David Ellenberg titled "Final Drainage Design Report, Ellenberg Subdivision Church Street Hebron, CT project no. 23-092," dated January 12, 2024 with attachments including Drainage Area Map, Pre-Development Drainage Analysis, Post Development Drainage Analysis, Web Soil Survey Soil Mapping, NOAA Precipitation frequency Estimates and Depth-Duration-Frequency Curves.





Mr. Mathew Bordeaux  
Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
Engineering Review-Revised Submission  
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January 26, 2024  
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As previously noted, the subject application proposes a subdivision of five (5) lots (two (2) residential and three (3) commercial) on a 26.98-acre parcel which has frontage on Church Street (CT Route 85) and Old Colchester Road. Since our initial review, the plans have been updated to show proposed improvements on the Site Development Plan and a Drainage Design Report has been provided. It is understood that each of the three commercial lots will require future applications to the Planning & Zoning Commission for site plan and special permit review; and that development plans for individual lots which exceed the level of activity currently shown within regulated (wetland and upland review) areas will require separate applications to the Conservation Commission.

In addition to reviewing the submitted information, we viewed the video recording of the Conservation Commission Public Hearing which was conducted on January 18, 2024. We are aware that the subject project currently has applications before both the Planning and Zoning and Conservation Commissions. In this regard, we have not segregated our comments below with respect to issues under each Commission's purview, but rather our comments are intended as a general engineering review of project information and documentation provided to date.

At this time, we have the following comments:

1. The Site Development Plan should delineate the limits of land disturbance. At this point, it would seem this is best defined on the plans by the limits of grading (proposed contours) and/or the location of silt fence shown. However, a comparison of the pre-development and post development land uses in the Drainage Design Report shows that there are 7.69 acres of row crops in the pre-development condition and zero in the post development condition, indicating that all the row crop land use will be changed to either developed surfaces or grass. If the existing row crops extend up to the wood line as shown on the plans, then this area should be included within the disturbance limits and silt fence should be located downgradient of the land disturbance.
2. The Legend on the Site Development Plan identifies a Possible Development Area. It would seem that this is no longer relevant (and not shown on the plan) since a conceptual development plan is now shown.
3. A single drainage area Map was submitted, presumably to represent both pre-development and post development conditions. The map delineates a drainage area from the property line along Church Street on the easterly side to a line extending approximately along the back of the commercial lots on the west. However, a review of the Existing Conditions Plan indicates that is an area within the property along the Church Street frontage which appears to drain to the northeast to the swale along Church Street. Similarly, since existing contours are not extended to the western part of the site, it is not clear that the drainage area delineation on the westerly side is based on the actual contours in that area. To support the drainage analysis, full scale drainage area maps should be provided for both





Mr. Mathew Bordeaux  
Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
Engineering Review-Revised Submission  
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Page 3

the pre and post development condition based on existing contours and proposed conditions respectively.

4. It was noted in the Public Hearing that the future development on each lot will require separate new wetland permit applications to the Conservation Commission for further review. As a point of clarification, it is our understanding that this would be the case only if the Site Development Plan for a lot included changes to the proposed activities within the regulated area.
5. It was stated by the Applicant's Engineer during the Public Hearing that development of the lots, and specifically impervious coverage, will ultimately be limited by Zoning Regulations. Presumably this refers to maximum lot building coverage requirements or Neighborhood Convenience Zone maximum building size. Since this point was raised, it seems relevant to indicate what the maximum development footprint could be relative to what is now shown on the plan.
6. We understand that the detailed design of stormwater practices for each lot is anticipated to be done with future site development plans. However, in that a Rain Garden Detail is included in the plans, given the nature of the soils on the site as poorly drained (Hydrologic Soil Group D) with seasonal high groundwater, the design would presumably need to be consistent with the Connecticut Stormwater Quality Manual for bioretention systems with underdrains. If so, the detail should reflect that, and the underdrain discharge should be shown on the Site Development plan.

If there are any questions, please feel free to contact me.

Sincerely yours,

NATHAN L. JACOBSON & ASSOCIATES, INC.

Thomas H. Fenton, P.E

THF:thf  
cc: Andrew Tierney,  
Paul Forrest  
Jim Cordier  
Mark A. Reynolds, P.E.





February 20, 2024

**Revised**

Mr. Mathew Bordeaux  
Director of Planning and Development  
Town of Hebron  
15 Gilead Street  
Hebron, CT 06248

Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
Engineering Review-Revised Submission  
NLJA #0647-0289

Dear Mr. Bordeaux:

As requested, in addition to the items previously noted in our January 3, 2024 and January 26, 2024 review letters, we have reviewed the following information for the subject project received at our office by email attachment through February 19, 2024:

- Item 1: Drawing titled "Existing Conditions Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, and last revised 1/31/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item2: Drawing titled "Subdivision Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, and last revised 1/31/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item 3: Drawing titled "Site Development Plan Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale 1"=80', dated December 1, 2023, and last revised 1/31/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item 4: Drawing titled "Notes & Details Ellenberg Subdivision Prepared For Dave Ellenberg Assessors No. 12-18 Church Street Hebron Connecticut," scale as noted, dated December 1, 2023, and last revised 1/31/24, prepared by Rob Hellstrom Land Surveying, LLC and Reynolds Engineering Services, LLC.
- Item 5: Letter Report from Mark Reynolds P.E to David Ellenberg titled "Final Drainage Design Report (Revised 2/16/24) Ellenberg Subdivision Church Street Hebron, CT project no. 23-092," dated February 16, 2024 with attachments including Pre-development and Post Development Drainage Area Maps, Pre-Development Drainage Analysis, Post Development Drainage





Jacobson

Mr. Mathew Bordeaux  
Re: PZC Petition 2023-10  
Ellenberg Subdivision  
Church Street Map 12, Lot 18  
Engineering Review-Revised Submission  
NLJA #0647-0289  
February 20, 2024  
Page 2

Analysis, Web Soil Survey Soil Mapping, NOAA Precipitation frequency Estimates and Depth-Duration-Frequency Curves.

The above noted submitted items have been revised to address the comments of our January 26, 2024 review letter. Based on our review of these items, along with email correspondence from the Applicant's Engineer and discussion with you as to items presented at the Conservation Commission continued Public Hearing of February 8, 2024, we can now confirm that our previous review comments have been adequately addressed.

If there are any questions, please feel free to contact me.

Sincerely yours,

NATHAN L. JACOBSON & ASSOCIATES, INC.

Thomas H. Fenton, P.E

THF:thf

cc: Andrew Tierney,  
Paul Forrest  
Jim Cordier  
Mark A. Reynolds, P.E.





## *Town of Hebron*

**TOWN OFFICE BUILDING  
15 GILEAD STREET  
HEBRON, CONNECTICUT 06248  
TELEPHONE: (860) 228-5971  
FAX : (860) 228-5980  
[www.hebronct.com](http://www.hebronct.com)**

### PLANNING & DEVELOPMENT

PLANNING

ECONOMIC DEVELOPMENT

CONSERVATION

HEALTH

BUILDING

**CERTIFIED MAIL**

February 23, 2024

Roderic A. McCorrison  
134 Hope Valley Road  
Amston, CT 06231

**Re: Petition 2023-04 – Church Street, Map 12, Lot 18. Zone NC into three lots & Zone R-1 into two lots, Roderic A. McCorrison, 5-Lot Subdivision**

### NOTICE OF DECISION

Dear Mr. McCorrison:

After reviewing the application for a five-lot Subdivision, part of which is within an inland wetlands upland review area and, based upon the findings in accordance with Section 22a-41 of the Connecticut General Statutes, **approval** is granted for conducting the activity described in the above-referenced application, with the following conditions:

- A. The Wetlands Agent will be contacted by the developers for site inspection during the implementation of SEC measures.
- B. The Wetlands Agent will report to the Commission any adjustments to this plan that may have additional impact to the wetlands, pursuant to activity under Section 2.1.24 of the Hebron Conservation and Inland Wetlands Regulations.
- C. The Applicant will incorporate the use of native grass, shrubs, berries, and nut trees to establish native species, discourage non-native species and delineate the upland review area.
- D. The Conservation and Inland Wetlands Commission conveys its recommendation to the Planning and Zoning Commission of the Applicant's payment of Fees in Lieu of Open Space.
- E. The Conservation and Inland Wetlands Commission recommends that the Planning and Zoning Commission considers evaluating whether storm water runoff should be further controlled as part of site development planning.
- F. The Conservation and Inland Wetlands Commission recommends to the Planning and Zoning Commission that the use of underground storage tanks be restricted due to the high groundwater table and proximity to the wetlands.



Roderic A. McCorrison  
Re: Petition 2023-04  
Page 2 of 2  
February 23, 2024

We wish you success in this endeavor. Should you have any questions, please contact me at 860-228-5971, extension 139, or at [jcordier@hebronct.com](mailto:jcordier@hebronct.com)

For the Hebron Conservation and Inland Wetlands Commission:

A handwritten signature in cursive script that reads "James P. Cordier" followed by a stylized flourish or monogram.

James P. Cordier, MPH RS  
Conservation and Inland Wetlands Agent  
Town of Hebron

cc: Matt Bordeaux, Director of Planning and Development  
Tom Loto, Chairman, Conservation and Inland Wetlands Commission  
David Ellenberg, 1661 NW 143<sup>rd</sup> Terrace, Pembroke Pines, FL 33028  
File # 2023-04



## Section 3.D

### BUSINESS DISTRICTS & USES

#### NEIGHBORHOOD CONVENIENCE (NC)

#### 3.D.4 DIMENSIONAL STANDARDS

See Section 6.A for possible dimensional exceptions.

Lot-Related Requirements	NC
Minimum Lot Area	21,780 SF
Minimum Lot Frontage	75 Feet

Setback-Related Requirements	
Minimum Front Yard Setback	30 Feet
Minimum Side Yard Setback	15 Feet
Minimum Rear Yard Setback	25 Feet

Building-Related Limitations	
Maximum Building Height	2 1/2 Stories or 25 Feet, whichever is more restrictive
Maximum Building Coverage	20%



### **3.D.5      ADDITIONAL STANDARDS**

1. Hours of operation shall be limited to the period 6:00 AM to 10:00 PM.
2. To insure limited, low-intensity uses consistent with the intent of this district, no building in this district shall have a gross floor area in excess of five thousand (5,000) square feet with a maximum of 2 buildings per lot except that the Commission may, by Special Permit, approve a building in excess of 5,000 square feet and more than two (2) buildings per lot provided that the Commission shall find that the resulting Site Plan, building design and building placement do not negatively impact the surrounding neighborhood when taking into consideration the Special Permit criteria found in Section 7.D as well as the following specific considerations:
  - a. the overall use, building location(s) and building design are compatible with the surrounding neighborhood;
  - b. type and intensity of proposed use;
  - c. proximity and sufficient buffering to residential neighbors;
  - d. conformance of the proposed architectural design to the design guidelines incorporated in Section 5.A of these Regulations, and where such design is found to lessen impact of the building's size with respect to its compatibility to the neighborhood; and
  - e. quality of site design and landscaping.
3. No new parking spaces in the Neighborhood Convenience District shall be located between the front facade of the principal building and the abutting streets unless approved by the Commission by Special Permit due to special or unique circumstances.



**TOWN OF HEBRON  
PLANNING AND DEVELOPMENT DEPARTMENT**

**TO:** Planning and Zoning Commission

**FROM:** Matthew R. Bordeaux, Town Planner

**DATE:** March 7, 2024

**RE:** **Petition 2024-01 & 02** – Petition of Town of Hebron to construct a pedestrian bridge and sidewalk connection between the Douglas Library of Hebron and Pendleton Drive. Application is filed pursuant to Sections 3.A.3.4.1 and 3.B.2.5.1 of the Hebron Zoning Regulations, Hebron Green and Main Street Districts.

***Introduction***

The Town of Hebron proposes to construct a pedestrian connection between the Douglas Library on the Hebron Green to the existing public parking lot on Pendleton Dr. A pedestrian bridge will be constructed to span the unnamed brook conveying stormwater from a small watershed around Main St.

The route will stay on Town-owned property except for a minor encroachment across the entrance drive to Dunne’s Gymnastics at 38 Pendleton Dr. The owner has expressed support for the project and is willing to execute an easement required to construct the crossing.

The majority of the route will be improved with a 5’ wide concrete sidewalk, however, to better accommodate future bicycle traffic, the portion of the route between the proposed bridge and the exit driveway at Dunne’s Gymnastics will be 6’ wide.

The project will include pedestrian-scale, historically appropriate lighting consistent with the model used in the Hebron Green Village District, split-rail fencing in the vicinity of the wetland regulated area, and a variety of vegetation.

The project has been identified in The Hebron Center Plan, adopted in 2016, as an “important pedestrian connection”. Construction of the project will be funded by a Small Town Economic Assistance Program (STEAP) Grant awarded to the Town in 2022. As a State-funded project, a Project Review request was submitted to the State Historic Preservation Office (SHPO). The SHPO’s response stated that there will be no adverse effect to historic properties. A copy of the letter dated October 28, 2022, is attached for your review.

***Inland Wetlands Permit***

At their February 8, 2024 meeting, the Conservation Commission approved the Inland Wetlands Permit Petition #2024-01 for activity proposed in proximity to the unnamed brook and a naturalized drainage ditch conveying stormwater from Pendleton Dr toward the aforementioned unnamed brook. The approval included conditions, one of which was a recommendation to the Planning and Zoning Commission to “Examine the state of the stone walls and have the PZC take a closer look at their disposition.” A photo of the stone walls in question will be provided at the meeting.



### ***Hebron Green Village District***

As stated above, the pedestrian improvement route is located in both the Hebron Green and Main Street District. Due to its location in the Hebron Green District, which is a designated Village District, the application was referred to the Hebron Historic Properties Commission on January 10, 2024. Light posts and fixtures consistent with the model used through the Hebron Green are specified for the proposed pedestrian route. The only other material additions are the proposed bridge, the use of split rail fence, and landscape plantings.

**Comment:** As I have not received a response from the Historic Properties Commission, I recommend the Commission condition the permit to consider any recommendations provided and if they in any way warrant the Commission's consideration, I can address the Commission accordingly. At this time, this project is highly anticipated and expected to be a valued addition to activities planned in the center of town. We hope to prepare project specifications and bid the project as soon as possible.

### ***Special Permit and Site Plan***

The proposed project requires Special Permit approval from the Planning and Zoning Commission in accordance with Sections 3.A.3.4.1 due to its location in the Hebron Green Village District, and Section 3.B.2.5.1 for its location in the Main Street District. The Commission shall consider the Special Permit Criteria of Section 7.D.5 of the Hebron Zoning Regulations as they apply to the proposed project.

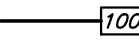
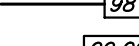





























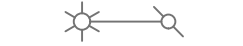


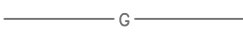

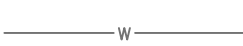
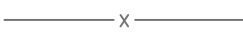

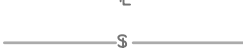








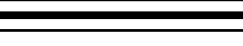




MRB

H:\Matt\Boards & Commissions\PZC\Applications\2024-01 & 02 Pedestrian Bridge\Memo.docx

Attachments



ABBREVIATIONS	
Bit.	BITUMINOUS
B.O.S.	BOTTOM OF STONE
C#	ALIGNMENT CURVE NUMBER
Conc.	CONCRETE
CL&P	CONNECTICUT LIGHT AND POWER
CPEP	CORRUGATED POLYETHYLENE PIPE
EL.	ELEVATION
F.E.S.	FLARED END SECTION
H.P.	HIGH POINT
INV.	INVERT
L#	ALIGNMENT LINE NUMBER
N/F	NOW OR FORMERLY
PERF.	PERFORATED
RCP	REINFORCED CONCRETE PIPE
STA.	STATION
SNET	SOUTHERN NEW ENGLAND TELEPHONE CO.
T.O.P.	TOP OF PIPE
T.O.W.	TOP OF WALL
TYP.	TYPICAL

LEGEND	
<b>Existing</b>	<b>PROPOSED</b>
--- 100 ---	INDEX CONTOUR 
--- 98 ---	INTERMEDIATE CONTOUR 
x 99.0	SPOT ELEVATION 
	TREE LINE 
	SHRUB LINE/TALL GROUND COVER/LANDSCAPING
	CONIFEROUS TREE
	DECIDUOUS TREE
	SHRUB
	STUMP
	BOULDER/LEDGE
	STONE WALL
	EDGE OF WATER
	WETLAND FLAG
	COINCIDENTAL STATE AND FEDERAL WETLAND LINE
	PAVEMENT EDGE
	BITUMINOUS CONCRETE CURBING
	CONCRETE CURBING
	CHAIN LINK FENCE
	WIRE FENCE
	WOOD FENCE
	GUIDE RAIL
	MAILBOX
	SIGN
	SITE LIGHT
	CATCH BASIN
	LAWN INLET
	FLARED END
	MANHOLE
	HYDRANT
	VALVE
	UTILITY POLE
	UTILITY POLE WITH GUY
	UTILITY POLE WITH LIGHT
	AERIAL UTILITIES
	COMMUNICATIONS LINE
	ELECTRIC LINE
	GAS LINE
	SANITARY LINE
	STORM PIPE
	WATER LINE
	UNKNOWN UNDERGROUND UTILITY
	SURVEY MONUMENT
	PROPERTY LINE
	STREET LINE
	SETBACK LINE
	PERMANENT EASEMENT
	TEMPORARY EASEMENT
	SURVEY CONTROL
	SEDIMENT BARRIER
	PAVEMENT SAWCUT
	SIDEWALK CENTERLINE WITH CURVE AND LINE START AND END LOCATION
	CONTRACT LIMIT LINE

CONTRACT DRAWINGS  
FEBRUARY 2024

TOWN OF  
HEBRON

CONNECTICUT

PEDESTRIAN BRIDGE  
AND TRAIL

PENDLETON DRIVE TO LIBRARY

BOARD OF SELECTMEN

PETER D. KASPER, CHAIRMAN  
DANIEL E. LARSON, VICE-CHAIRMAN  
TIFFANY V. THIELE  
KEITH PETIT  
CLAUDIA RILEY

DIRECTOR OF PLANNING AND DEVELOPMENT

MATTHEW R. BORDEAUX

TOWN MANAGER

ANDREW J. TIERNEY

DIRECTOR OF PUBLIC WORKS

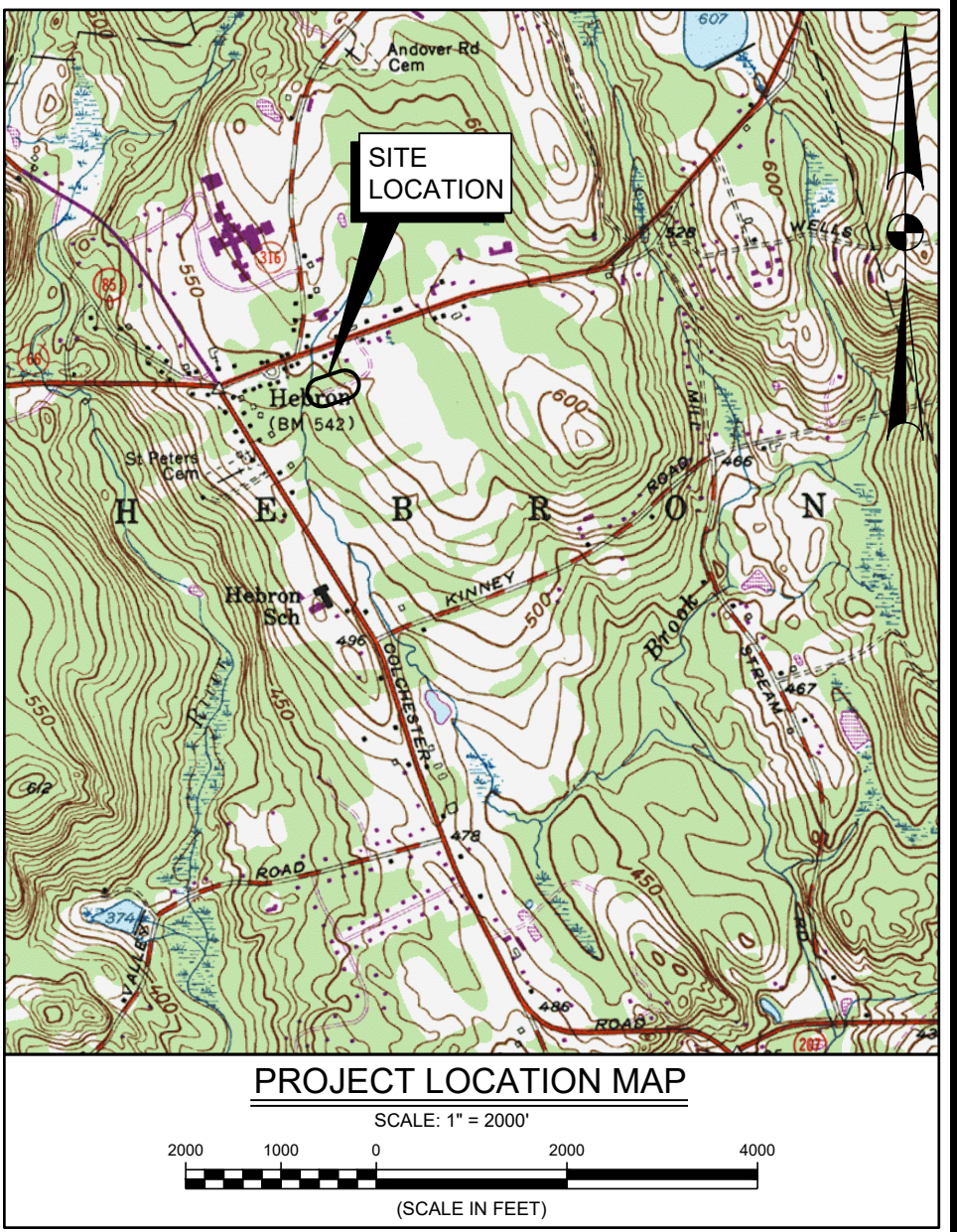
PAUL J. FORREST

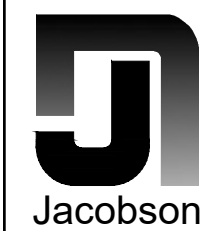
APPROVED BY TOWN

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
ANDREW J. TIERNEY, TOWN MANAGER

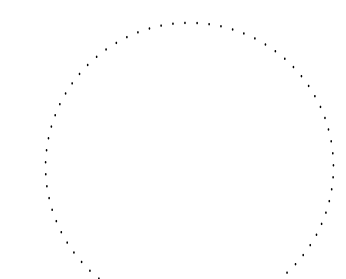
SCHEDULE OF DRAWINGS	
SHEET No.	TITLE
1 OF 14	COVER SHEET
2 OF 14	INDEX PLAN AND GENERAL NOTES
3 OF 14	TOPOGRAPHIC SURVEY
4 OF 14	DEMOLITION PLAN
5 OF 14	LAYOUT PLAN
6 OF 14	GRADING AND EROSION & SEDIMENT CONTROL PLAN
7 OF 14	EROSION & SEDIMENT CONTROL NOTES AND DETAILS
8 OF 14	PLANTING PLAN
9 OF 14	SITE DETAILS
10 OF 14	TRAIL BRIDGE GENERAL PLAN
11 OF 14	ABUTMENT DETAILS
12 OF 14	ELECTRICAL SYMBOLS, ABBREVIATIONS, NOTES, SCHEDULES, AND DETAILS
13 OF 14	ELECTRICAL LIGHTING PLAN
14 OF 14	ELECTRICAL SPECIFICATION

CTDOT STANDARD DRAWINGS	
SHEET No.	TITLE
6	CONCRETE SIDEWALK RAMPS SHEET 6 OF 11



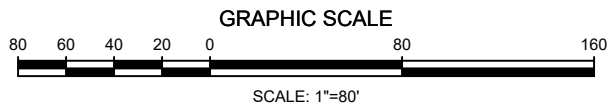


Nathan L. Jacobson & Associates, Inc.  
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Consulting Civil and Environmental Engineers Since 1972



THOMAS H. FENTON, P.E.  
CT REGISTRATION No. 14400





TOWN OF HEBRON  
CONNECTICUT

PEDESTRIAN BRIDGE  
AND TRAIL  
PENDLETON DRIVE  
TO LIBRARY

INDEX PLAN AND  
GENERAL NOTES

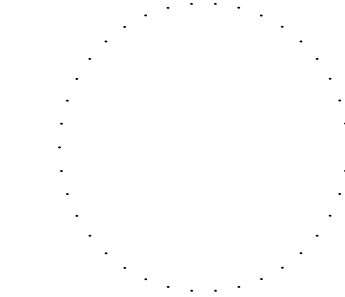
CONTRACT DRAWINGS

ANY ALTERATIONS TO THIS DRAWING MADE WITHOUT THE EXPRESSED WRITTEN APPROVAL OF NATHAN L. JACOBSON & ASSOCIATES, INC. WILL BE AT THE SOLE RISK OF THE PERSON OR FIRM MAKING SUCH UNAUTHORIZED ALTERATIONS AND NATHAN L. JACOBSON & ASSOCIATES, INC. WILL NEITHER HAVE NOR ACCEPT ANY LIABILITY OR LEGAL EXPOSURE ARISING FROM SAID UNAUTHORIZED ALTERATIONS.



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REVISIONS		
No.	DESCRIPTION	DATE

DATE:	FEBRUARY 2024	SHEET No.:
SCALE:	1"=80'	2 OF 14
PROJECT No.:	06480092	
CADD FILE:	06480092INDEX	
DESIGNED:	THF	
DRAWN:	CEB	
CHECKED:		

REFERENCES:

- VERTICAL DATUM IS NAVD 88, HORIZONTAL DATUM IS CONNECTICUT COORDINATE GRID SYSTEM (NAD 83).
- GROUND BASED TOPOGRAPHIC SURVEY WAS PREPARED BY LAND SURVEY & TECHNICAL SERVICES, INC. IN DECEMBER 2019 AND MARCH 2020.
- INLAND WETLAND SOILS WERE FLAGGED IN THE FIELD BY R. RICHARD SNARSKI, CPSS, CPESC, #1975, NEW ENGLAND ENVIRONMENTAL SERVICES, 155 JERRY DANIELS ROAD, MARLBOROUGH, CT 06447 ON 11-25-2019. FLAGS WERE LOCATED IN THE FIELD BY LAND SURVEY & TECHNICAL SERVICES, INC.
- GEOTECHNICAL STUDY BY WELT1 GEOTECHNICAL P.C. BASED ON FIELD SUBSURFACE INVESTIGATION PERFORMED IN MARCH 2020.
- TOPOGRAPHY BEYOND AREAS DESIGNATED AS BASED ON GROUND TOPOGRAPHIC SURVEY, WAS OBTAINED FROM CTECO.COM BASED ON NAVD88.

PROJECT NOTES

DRAWING NOTES

- IN GENERAL, Lower Case Text Identifies Existing Features/Conditions.
- IN GENERAL, UPPER CASE TEXT IDENTIFIES PROPOSED FEATURES/CONDITIONS UNLESS OTHERWISE SPECIFIED.
- SURVEY CONTROL HAS BEEN PROVIDED FOR CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE VALIDITY OF THE SURVEY CONTROL.

ENVIRONMENTAL CONTROLS

- INSTALL EROSION CONTROLS TO THE MAXIMUM EXTENT POSSIBLE AND OBTAIN APPROVAL OF THE INSTALLATION (NOT THE DESIGN) FROM THE LOCAL INLAND WETLAND AGENCY ENFORCEMENT OFFICER PRIOR TO THE START OF CONSTRUCTION.
- INSPECT EROSION CONTROLS REGULARLY AND IMMEDIATELY AFTER RAINFALL EVENTS AND MAINTAIN AND MODIFY AS NECESSARY OR AS DIRECTED BY THE ENGINEER TO ENSURE OPTIMUM PERFORMANCE.
- EROSION CONTROL PRODUCTS WITH NETTING (INCLUDING BIODEGRADABLE NETTING) ARE NOT PERMITTED FOR USE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WATER TO ENABLE CONSTRUCTION IN THE DRY, INCLUDING BUT NOT LIMITED TO TRENCHES, EXCAVATIONS, WATER CONTROL STRUCTURES AND COFFERDAMS, THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK. PARTICULAR ATTENTION IS CALLED TO FLUCTUATIONS IN WATER FLOWS AND LEVELS THAT MAY OCCUR DUE TO PRECIPITATION EVENTS. NO EXTRA MONETARY COMPENSATION WILL BE ALLOWED DUE TO WATER FLOW OR LEVEL FLUCTUATIONS. WHETHER PUMPING OR SIPHONING FOR DEWATERING IS USED OR NOT, IN ALL CASES, THE DISCHARGE SHALL BE HANDLED SO AS TO AVOID EROSION AND SEDIMENTATION AS APPROVED BY THE ENGINEER. TAKE ALL NECESSARY PRECAUTIONS AND FURNISH EQUIPMENT REQUIRED TO HANDLE ALL SURFACE, SUBSURFACE AND FLOOD FLOWS WHICH MAY BE ENCOUNTERED AT ANY TIME DURING CONSTRUCTION.
- PROVIDE AND MAINTAIN OIL ABSORBENT SPILL RESPONSE BOOMS AND BLANKETS ON SITE FOR THE ENTIRE CONSTRUCTION PERIOD.
- NO CONSTRUCTION VEHICLES SHALL BE STORED, SERVICED, REFUELED, WASHED, OR FLUSHED OUT IN A LOCATION WHERE LEAKS, SPILLAGE, WASTE MATERIALS, CLEANERS, OR WATERS WILL BE INTRODUCED OR FLOW INTO WETLANDS OR WATERCOURSES.
- NO EQUIPMENT STORAGE, CLEANING, REPAIRING OR REFUELING SHALL BE CONDUCTED WITHIN 100' OF AN INLAND WETLAND BOUNDARY. SHOULD ANY CONTAMINANT SPILL OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION, OIL AND CHEMICAL SPILL RESPONSE DIVISION AT 860-424-3338 AND THE OWNER'S AGENT.
- DURING CONSTRUCTION, ROUTINE EQUIPMENT MAINTENANCE AND REFUELING SHALL OCCUR ON AN IMPERVIOUS SURFACE WITH OIL ABSORBENT SPILL RESPONSE MATERIALS IN PLACE. NON-ROUTINE MAINTENANCE OF EQUIPMENT SHALL BE CONDUCTED OFF-SITE. SHOULD ANY CONTAMINANT SPILL OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION, OIL AND CHEMICAL SPILL RESPONSE DIVISION AT 860-424-3338 AND THE OWNER'S AGENT.
- BULK FUEL FOR CONSTRUCTION PURPOSES SHALL NOT BE STORED ON SITE.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL STORE ALL HAZARDOUS MATERIALS OFF-SITE, OR IF ON-SITE, THEN WITHIN A SECONDARY CONTAINMENT STRUCTURE IN A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR, THAT WILL BE SECURED DURING NON-WORKING HOURS.
- SWEEP AND KEEP CLEAN ROADS IMPACTED BY TRACKED SOILS FROM THE CONSTRUCTION SITE AT ALL TIMES, OR AT THE DISCRETION OF THE ENGINEER.

CLEARING

- REMOVE TREES AND OTHER WOODY VEGETATION AND GRUB STUMPS AS NECESSARY FOR THE CONSTRUCTION. SITE DISTURBANCE TO BE KEPT TO A MINIMUM. AT MINIMUM, TREE PROTECTION SHALL BE PROVIDED TO EACH TREE IDENTIFIED TO BE PROTECTED ON THE PLANS. PROVIDE ADDITIONAL PROTECTION OR PROTECTION TO TREES NOT IDENTIFIED TO BE PROTECTED AS NECESSARY TO PREVENT DAMAGE. TREES TO BE REMOVED SHALL BE INDIVIDUALLY VERIFIED IN THE FIELD WITH THE ENGINEER.
- TRIM EXISTING TREE BRANCHES AS REQUIRED TO MAINTAIN A MINIMUM 10' VERTICAL CLEARANCE OVER PROPOSED SIDEWALK SURFACE.
- TRIM TREES AND VEGETATION AS NEEDED TO PROVIDE VISIBILITY TO PROPOSED/RELOCATED/REPLACED/RAISED SIGNS AND SIGNAL EQUIPMENT.
- CUT ROOTS OF TREES TO REMAIN BY HAND WITH SHARP AXE. APPLY PRUNING PAINT TO CUT ROOT ENDS THAT ARE ONE (1) INCH DIAMETER AND LARGER, OTHERWISE APPLY WET BURLAP TO PREVENT FROM DRYING OUT.
- SITE DISTURBANCE SHALL BE KEPT TO A MINIMUM.

EARTHWORK

- EXCEPT AS NOTED BELOW, PROPOSED FILL SHALL BE REUSED SUBSOIL THAT IS FREE OF DEBRIS, ORGANIC, AND TOXIC MATERIAL.
- CUT/FILL SLOPES IN EARTH SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE DETERMINED BY THE ENGINEER.
- SURPLUS OR UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL ORDINANCES, RULES, REGULATIONS AND CODES.
- PAVEMENTS TO BE CUT SHALL BE SAW CUT, PRIOR TO PAVING. CLEAN FACE OF EXISTING PAVEMENT AND PAINT WITH MATERIAL FOR TACK COAT. MATCH EXISTING GRADES WITH NEW PAVEMENT.
- NEATLY REMOVE, STORE AND PROTECT AS APPLICABLE, AND REINSTALL OR REPLACE AS APPLICABLE, EXISTING SITE FEATURES DISTURBED BY CONSTRUCTION, REQUIRED FOR THE FINISHED CONSTRUCTION.
- PAVEMENT MARKINGS REMOVED DURING TRENCHING AND PAVEMENT REPAIR SHALL BE REPAINTED TO MATCH EXISTING CONDITIONS. SUCH WORK MAY NOT BE SHOWN ON DRAWINGS.
- REFERENCE CTDOT STANDARD DRAWINGS FOR CURB RAMP AND CROSSWALK PAVEMENT MARKING DETAILS.

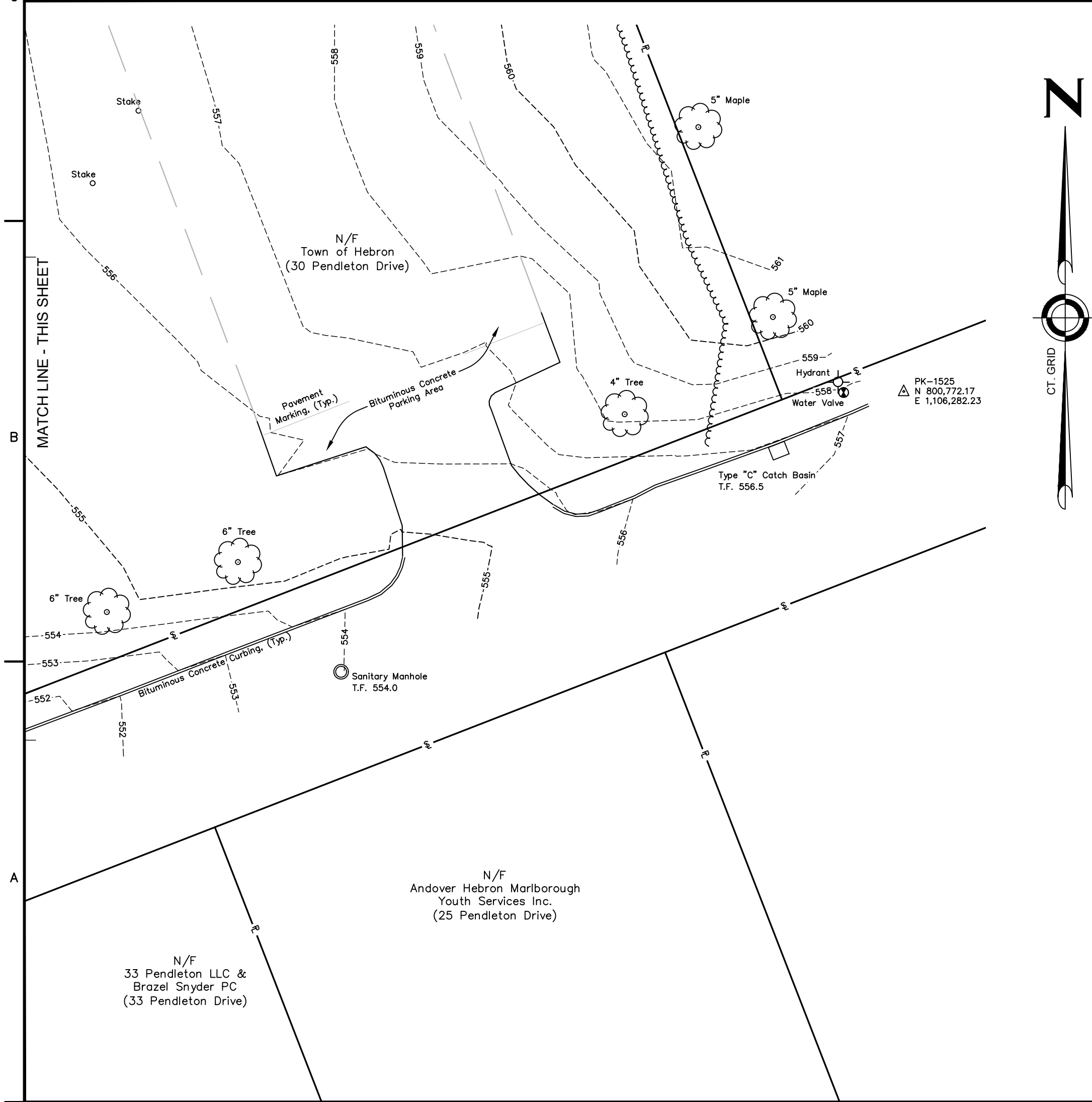
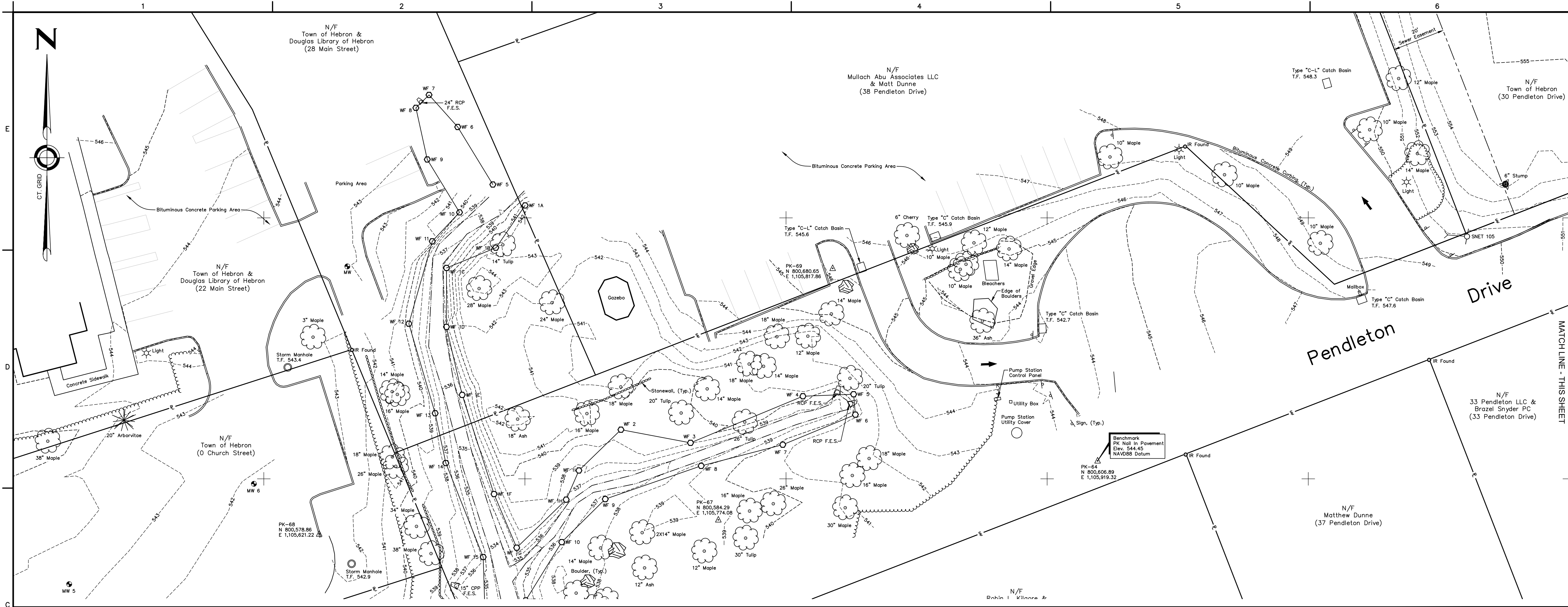
UTILITIES

- FOR LOCATION OF UNDERGROUND ELECTRIC, TELEPHONE, GAS, CABLE TV AND OTHER FACILITIES OF PUBLIC UTILITY COMPANIES, INQUIRE OF "CALL BEFORE YOU DIG, INC." AT 1-800-922-4455. OR WWW.CBYD.COM.
- COORDINATE THE RELOCATION/PROTECTION OF ALL UTILITIES.
- COORDINATE UTILITY WORK, WHETHER PUBLICLY OR PRIVATELY OWNED, SO AS NOT TO DELAY THE PROGRESS OF THE WORK. PROTECT AND MAINTAIN ALL EXISTING UTILITIES LOCATED WITHIN THE VICINITY OF THE CONSTRUCTION SITE, UNLESS OTHERWISE NOTED. IF ANY UTILITY IS DAMAGED OR SERVICE INTERRUPTED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGES INCLUDING RESTORING SERVICE IN A SAFE MANNER, TO THE COMPLETE SATISFACTION OF THE UTILITY OWNER AND THE ENGINEER.
- UTILITY INTERRUPTIONS SHALL RECEIVE THE PRIOR WRITTEN AUTHORIZATION OF THE UTILITY OWNER.
- INFORMATION OR DATA SHOWN ON OR INDICATED IN THE CONTRACT DOCUMENTS WITH RESPECT TO EXISTING AERIAL UTILITIES AND UNDERGROUND PIPES, CABLES, CONDUITS, STRUCTURES OR OTHER UNDERGROUND FACILITIES IS BELIEVED TO BE REASONABLY CORRECT BUT IS NOT GUARANTEED TO BE EXACT OR COMPLETE. SUCH INFORMATION SHALL BE CONSIDERED TO HAVE BEEN PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND TO ALERT THE CONTRACTOR TO THE EXISTENCE OF SUCH UNDERGROUND FACILITIES WITHIN OR CONTIGUOUS TO THE PROJECT SITE AND THE OWNER, ENGINEER AND THEIR CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA.
- UNDERGROUND POWER UTILITIES ARE KNOWN TO EXIST ON-SITE THAT ARE NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL INFORMATION AND DATA DESCRIBED IN THE NOTES ABOVE, FOR LOCATING ALL SUCH UNDERGROUND FACILITIES SHOWN OR INDICATED IN THE CONTRACT DOCUMENTS, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND FOR REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE.

SIGNS

- INSTALL SIGNS AND METAL SIGN POSTS IN ACCORDANCE WITH TRAFFIC STANDARDS SHEETS TR-1208\_01 AND TR-1208\_02. ALL SIGNS TO BE RELOCATED/REPLACED/RAISED SHALL BE INSTALLED ON NEW POSTS.
- CONTRACTOR SHALL BE:
  - SOLELY RESPONSIBLE FOR PROTECTION OF PERSONS AND THE PUBLIC IN GENERAL, THE WORK TO BE PERFORMED UNDER THE CONTRACT, PUBLIC AND PRIVATE PROPERTY, AND EASEMENTS AND RIGHTS-OF-WAY DURING THE COURSE OF THE WORK OF THE CONTRACTOR AND HIS SUBCONTRACTORS, AND;
  - LIABLE FOR ALL DAMAGES AND CLAIMS RECEIVED OR SUSTAINED BY ANY PERSONS, CORPORATIONS OR PROPERTY IN CONSEQUENCE OF DAMAGE TO EXISTING UTILITIES, ROADWAYS, THEIR APPURTENANCES, OR OTHER FACILITIES CAUSED DIRECTLY OR INDIRECTLY BY THE OPERATIONS OF THE CONTRACTOR, AND;
  - SOLELY RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.





- NOTES:**
- THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AS A CLASS T-2 TOPOGRAPHIC SURVEY VERTICAL ACCURACY CLASS V-2). BOUNDARY LINES DEPICTED HEREON ARE BASED ON RECORDED DEEDS AND MAPS. LIMITED FIELD LOCATIONS AND OTHER SOURCES OF INFORMATION SHOULD NOT BE CONSTRUED AS A PROPERTY BOUNDARY SURVEY, AND ARE SUBJECT TO SUCH FACTS AND REVISION AS A MORE THOROUGH INVESTIGATION WOULD WARRANT.
  - UNDERGROUND OR OVERHEAD ENCROACHMENTS, STRUCTURES, AND SYSTEMS WERE NOT INVESTIGATED AS A PART OF THIS SURVEY, EXCEPT AS SHOWN OR NOTED HEREON.
  - STONE WALLS AND/OR FENCES MAY DEViate SLIGHTLY FROM PRINCIPAL COURSES SHOWN.
  - PERIPHERAL PROPERTY LINES OF ADJACENT OWNERS ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR SHOWN HEREON.
  - HORIZONTAL DATUM IS NAD83. VERTICAL DATUM IS NAVD83.
  - PARCEL ARE SHOWN ON TAX MAP 70.
  - PARCELS MAY BE SUBJECT TO SUCH RIGHTS AND EASEMENTS AS APPEAR OF RECORD OR ARE APPARENT BY USAGE. THIS SURVEY REFLECTS ENCUMBRANCES NOTICED AND DISCOVERED BY THE SURVEYOR IN THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTIES. EASEMENTS, SERVITUDES, LOCAL ORDINANCES, ZONING AND OTHER LEGAL ENCUMBRANCES MAY EXIST WHICH ARE NOT REFLECTED HEREON. CONSULT A TITLE ATTORNEY TO DISCOVER ALL LEGAL ENCUMBRANCES, IF ANY, ATTACHED TO THESE PROPERTIES.
  - REFERENCE IS MADE TO THE FOLLOWING MAPS:  
A. "PROPERTY OF HORACE W. SELLERS HEBRON, CONN. DATE: 2-14-77 SCALE: 1" = 40", BY HARRY K. MEGSON, P.E.L.S., H.L.R. MAP VOL. 8 PG. 31  
B. "PLAN OF DEVELOPMENT AND SUBDIVISION PLAN PENDLETON VILLAGE GENERAL BUSINESS DEVELOPMENT HEBRON, CONN. REV. 12-11-79", BY HARRY K. MEGSON, P.E.L.S., H.L.R. MAP VOL. 9 PG. 41

**TOWN OF HEBRON**  
**PEDESTRIAN BRIDGE**  
**AND TRAIL**  
**PENDLETON DRIVE**  
**TO LIBRARY**

**TOPOGRAPHIC**  
**SURVEY**

**CONTRACT DRAWINGS**

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Chester, Connecticut 06412-0337  
Tel: (860) 526-4522 Fax: (860) 526-5416  
www.nlja.com  
An Affiliate of Nathan L. Jacobson & Associates, Inc.

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TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

JEFFREY A. SANBORN, L.S.  
CT REGISTRATION No. 12883

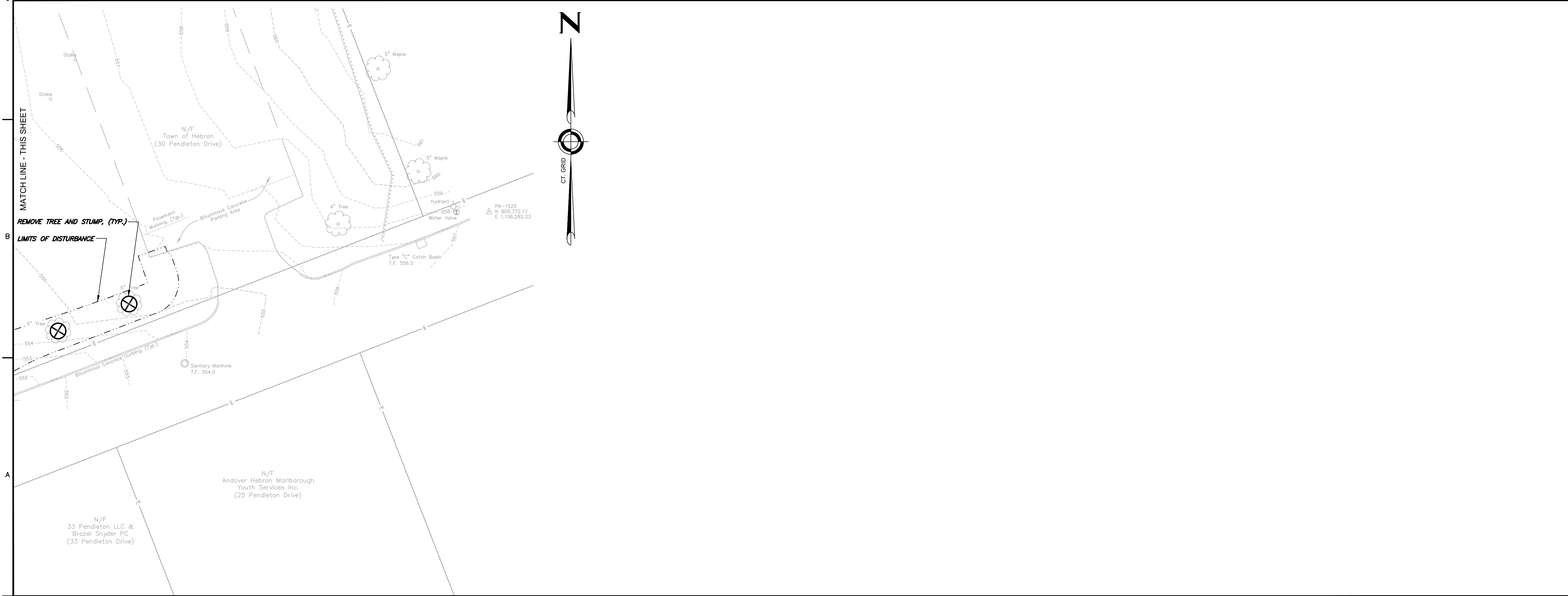
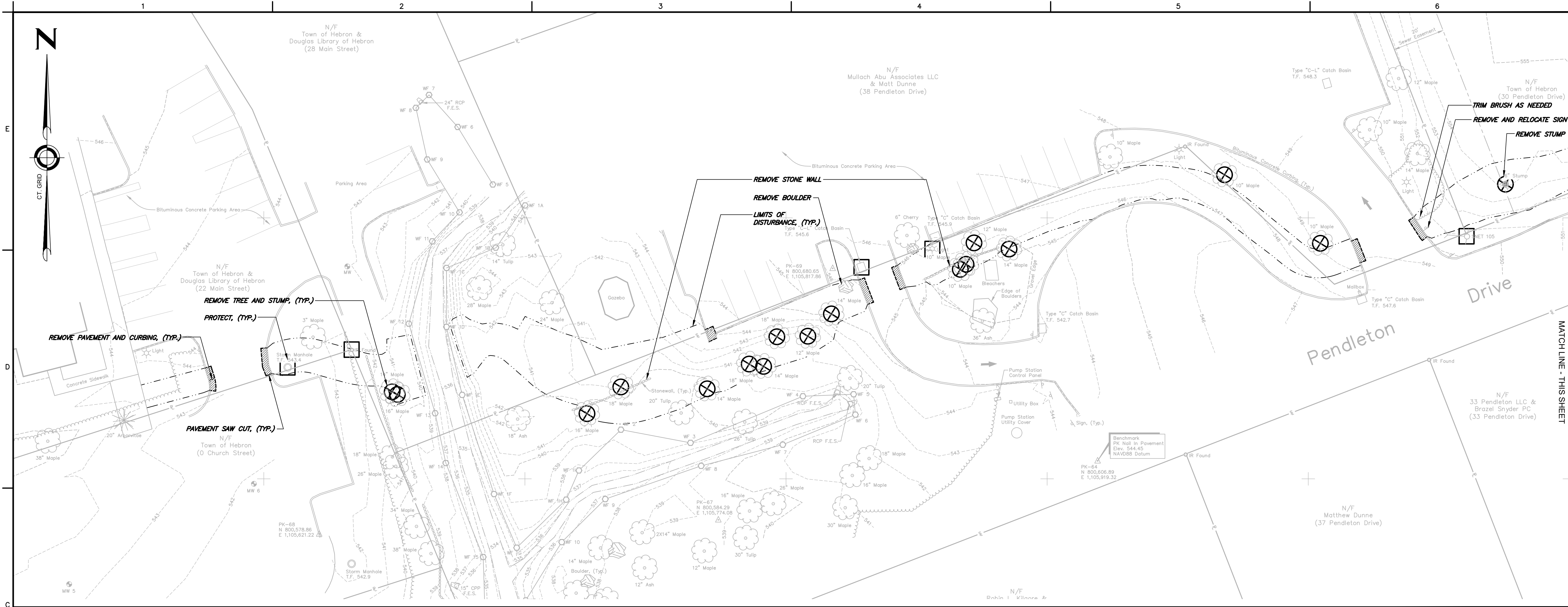
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REVISIONS		
No.	DESCRIPTION	DATE

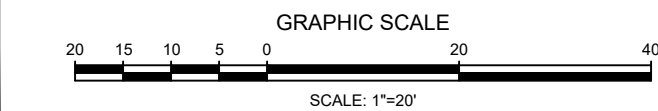
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FIELD BOOK: XXX  
DRAWN: CEB  
CHECKED: -

SHEET No.:  
**3 OF 14**





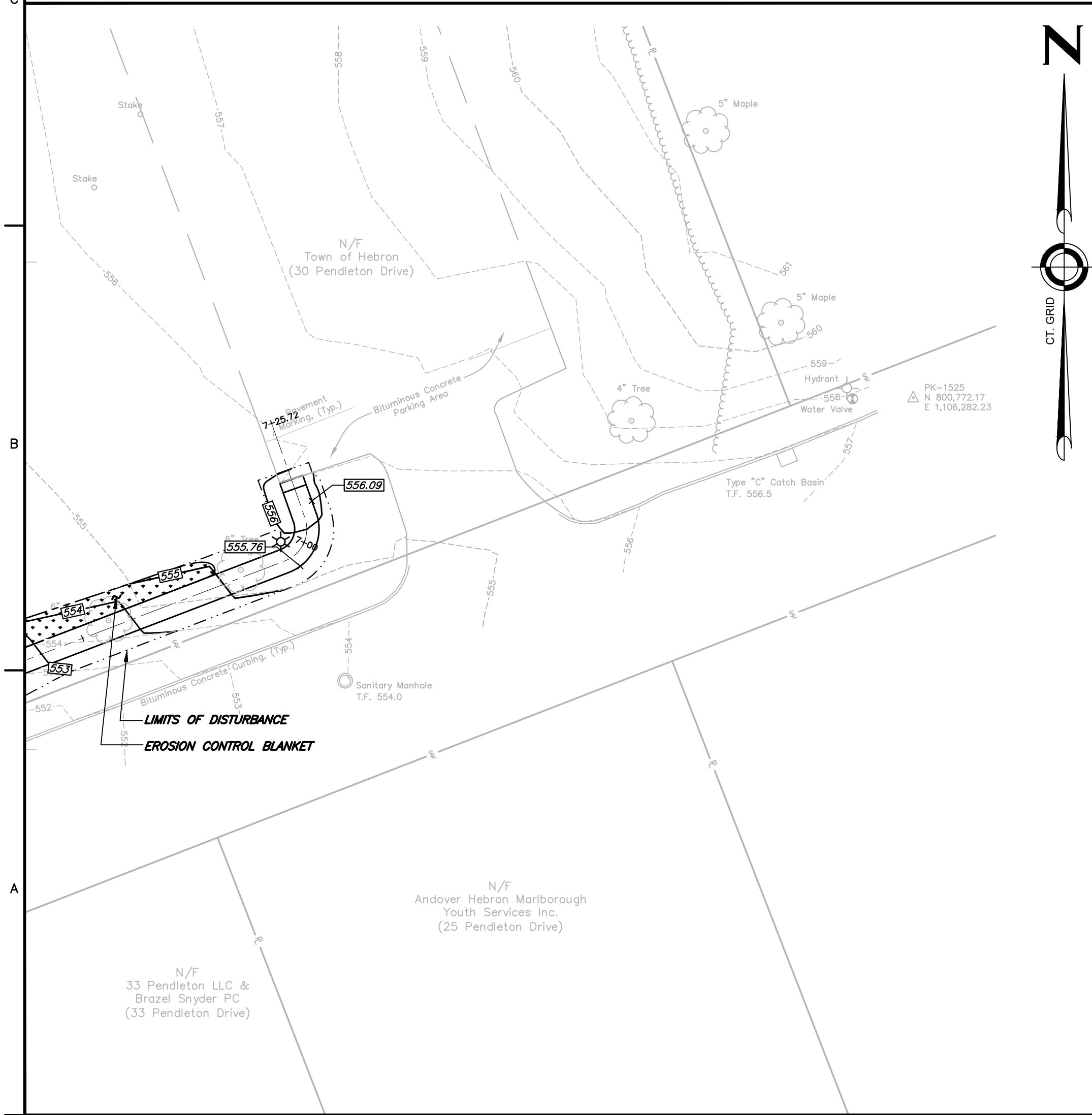
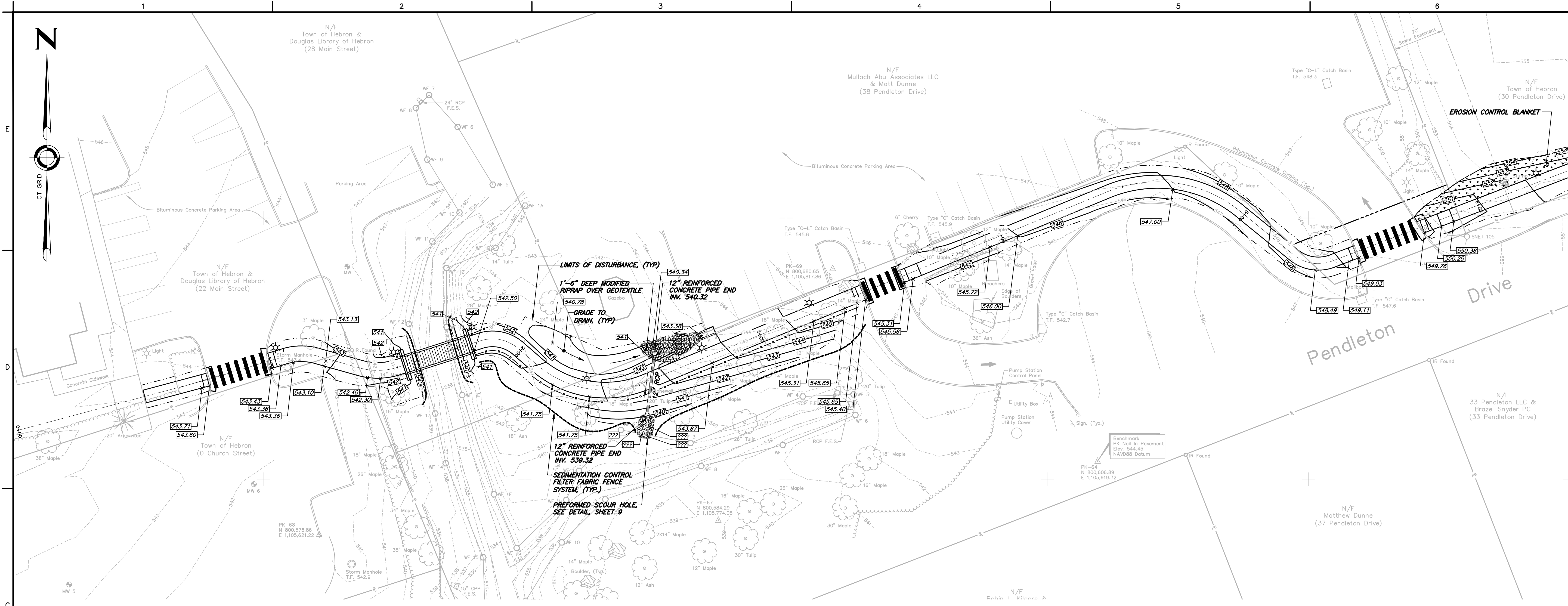
NOTES:  
1. SEE SHEET 2 FOR PROJECT NOTES.



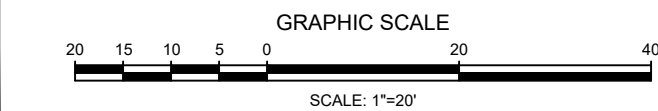








NOTES:  
1. SEE SHEET 2 FOR PROJECT NOTES.



## TOWN OF HEBRON PEDESTRIAN BRIDGE AND TRAIL PENDLETON DRIVE TO LIBRARY

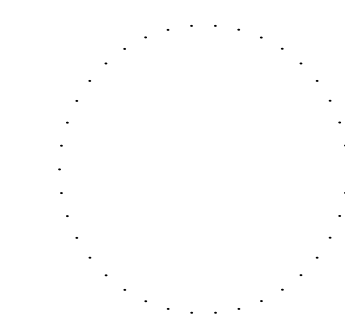
### GRADING AND EROSION & SEDIMENT CONTROL PLAN

#### CONTRACT DRAWINGS

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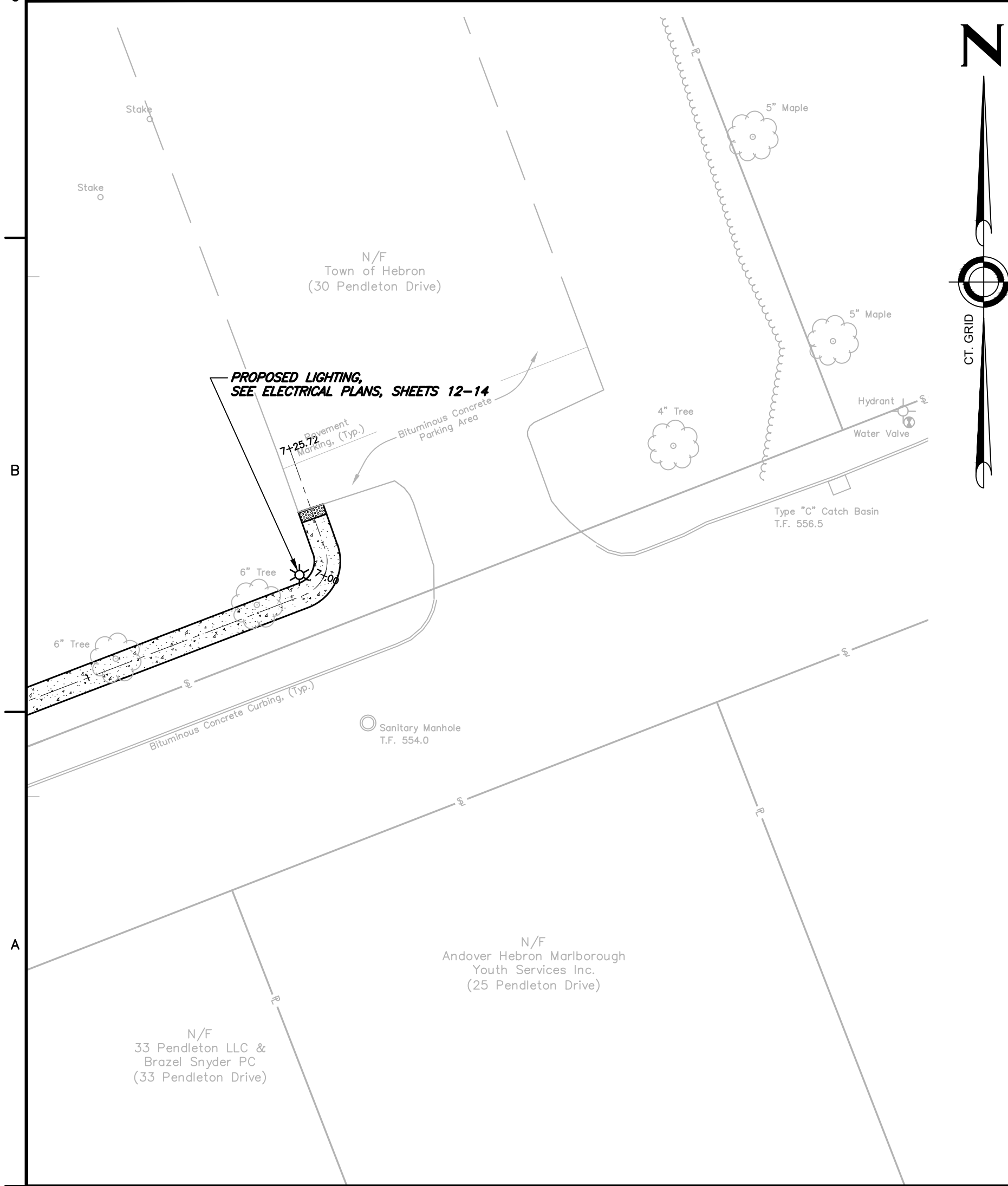
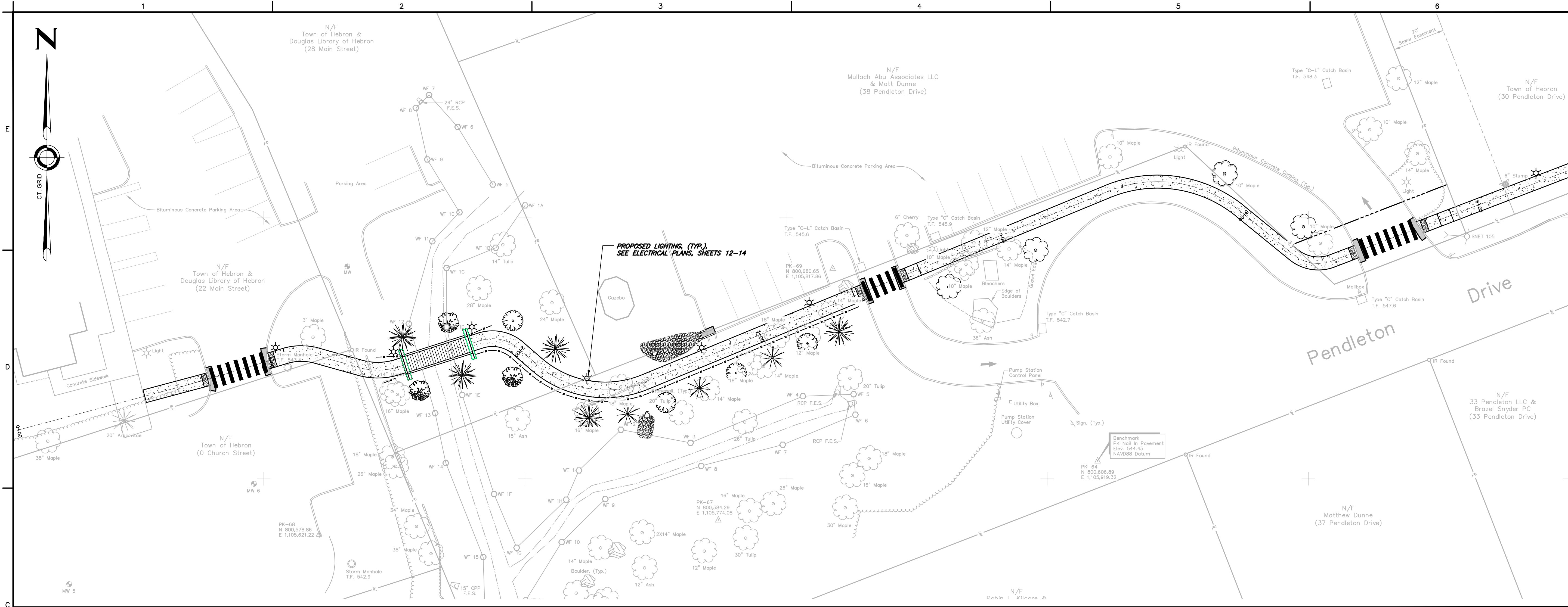
REVISIONS		
No.	DESCRIPTION	DATE

DATE: FEBRUARY 2024  
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DESIGNED: THF  
DRAWN: CEB  
CHECKED:

SHEET No.:  
  
6 OF 14

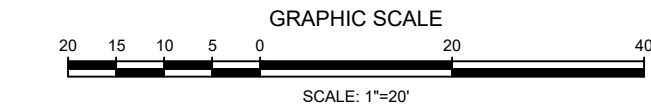




PLANTING LEGEND				
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
	AMELANCHIER CANADENSIS	SHADBUSH	3' - 4' HEIGHT	4
	ACER RUBRUM	RED MAPLE	3' - 4' HEIGHT	5
	CORNUS RACEMOSA	GRAY DOGWOOD	3' - 4' HEIGHT	3
	CORNUS SERICEA	RED TWIG DOGWOOD	3' - 4' HEIGHT	3
	ACER SACCHARUM	SUGAR MAPLE	2" DBH	4

NOTES:  
1. SEE SHEET 2 FOR PROJECT NOTES.



## TOWN OF HEBRON PEDESTRIAN BRIDGE AND TRAIL PENDLETON DRIVE TO LIBRARY

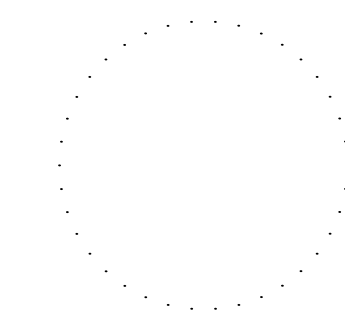
### PLANTING PLAN

### CONTRACT DRAWINGS

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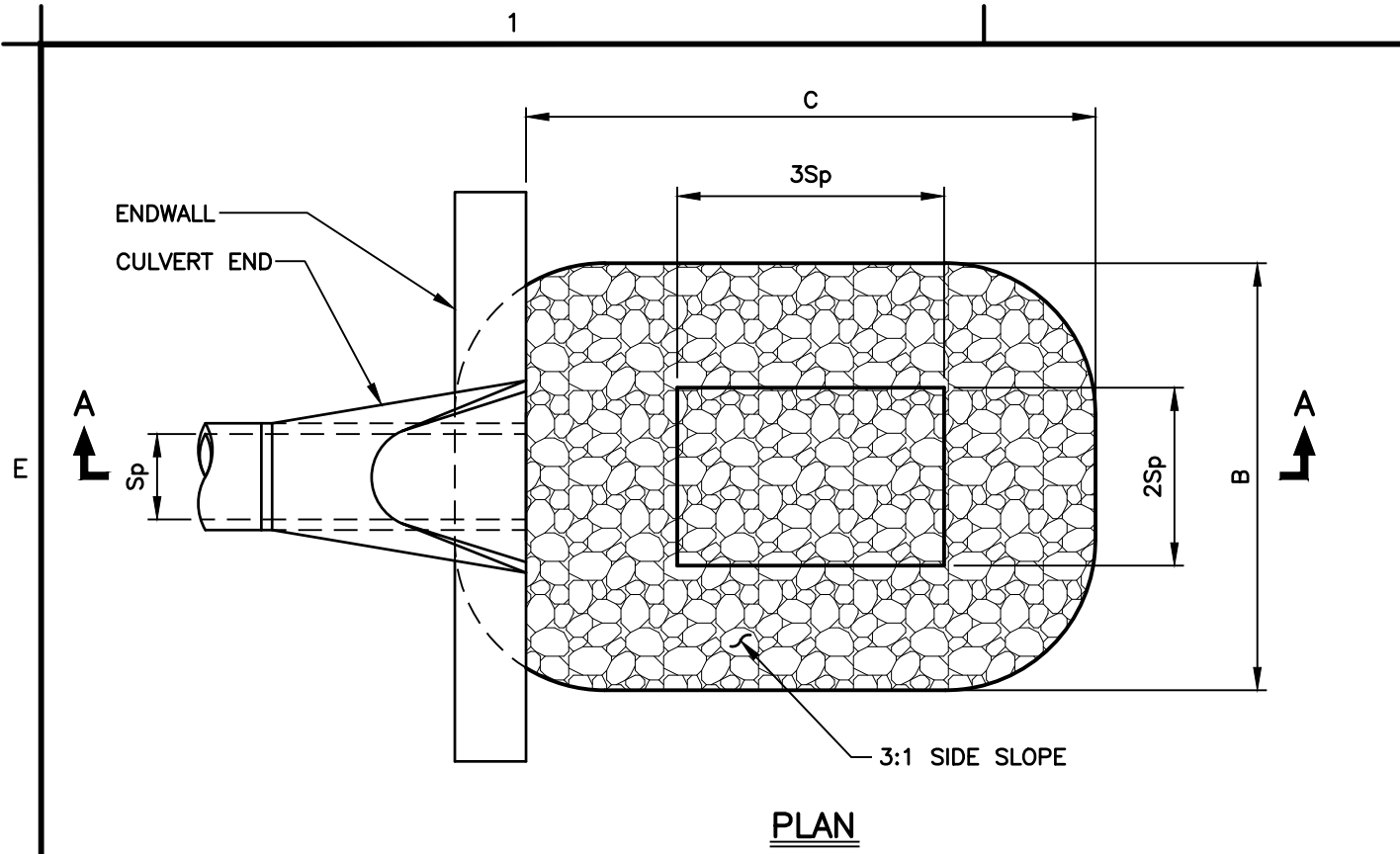
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REVISIONS		
No.	DESCRIPTION	DATE

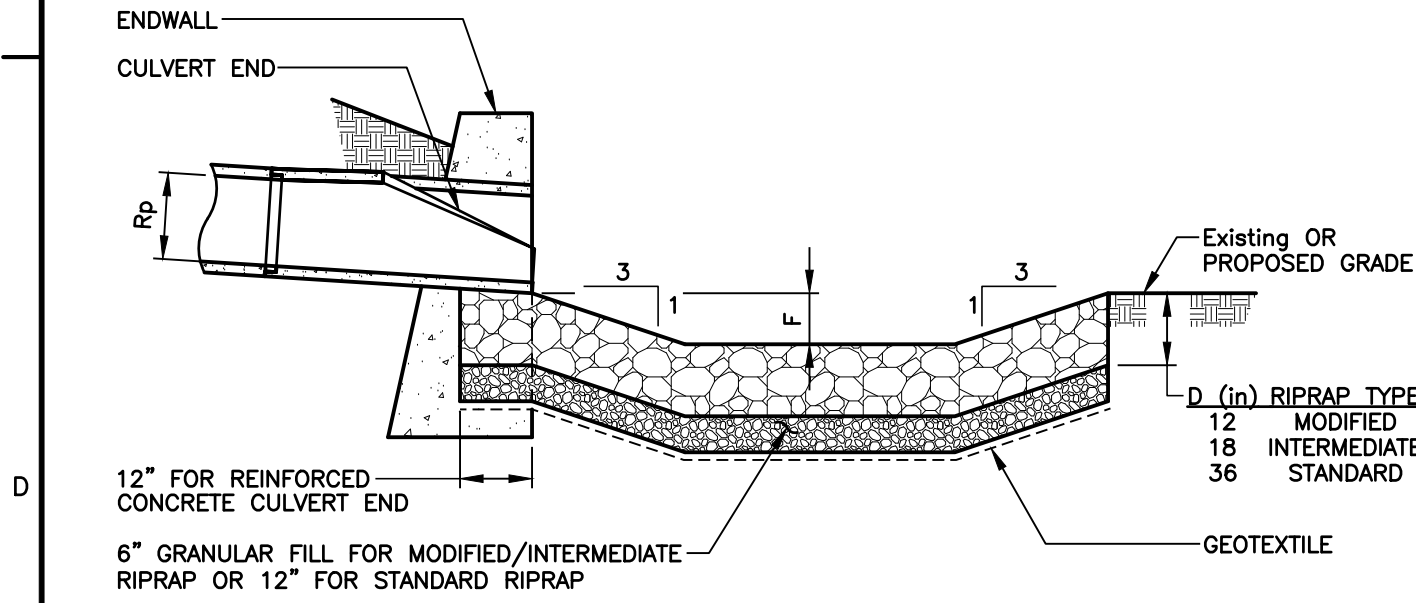
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DRAWN: CEB  
CHECKED:

SHEET No.:  
**8 OF 14**



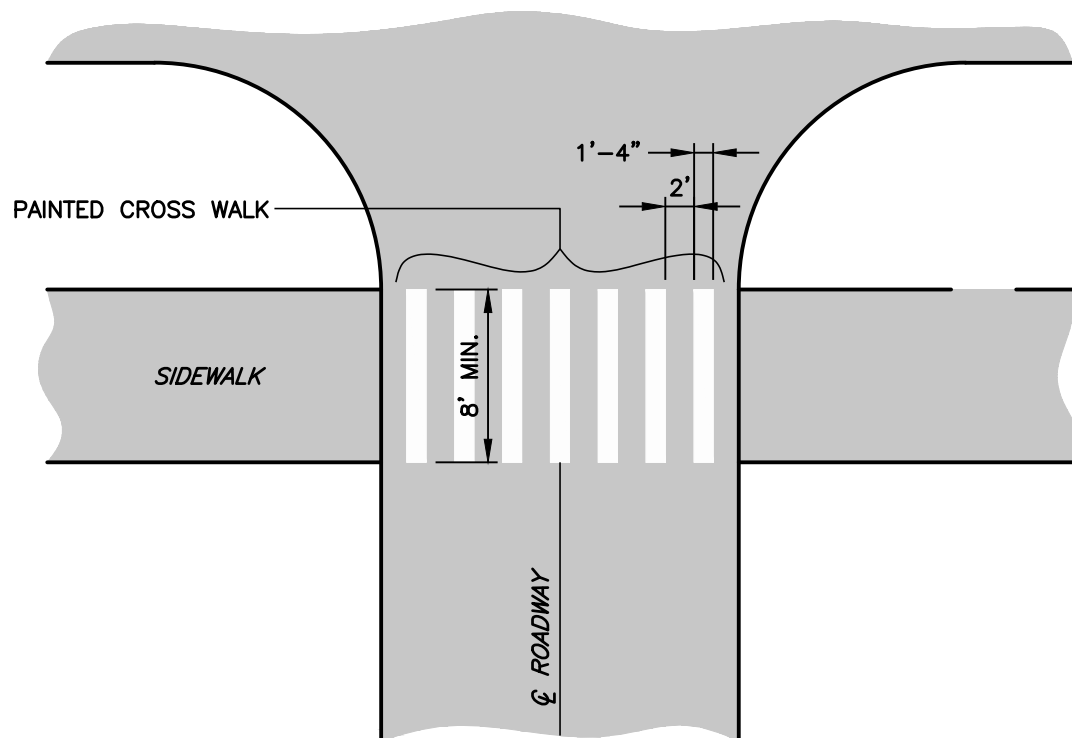


PLAN

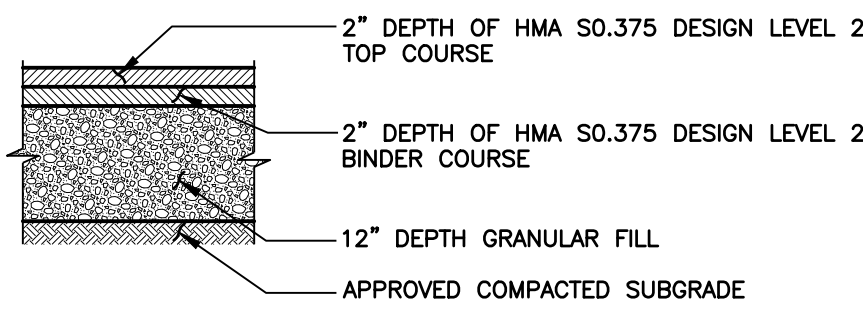


SECTION A-A  
PREFORMED SCOUR HOLE  
N.T.S.

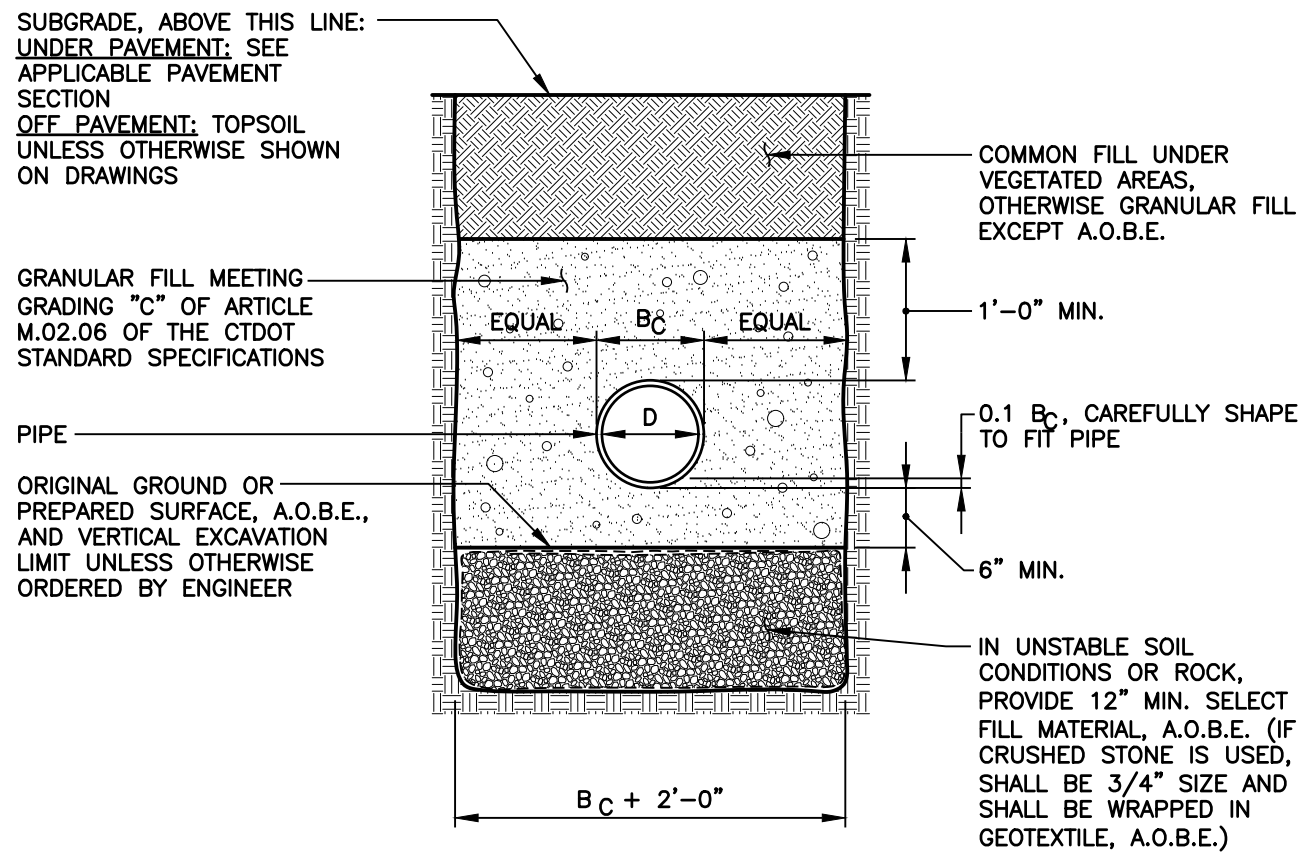
		PIPE DIAMETER OR SPAN (in)											
		12	15	18	24	30	36	42	48	54	60		
TYPE 1		5	6	8	10	13	15	18	20	23	25		
B		6	8	9	12	15	18	21	24	27	30		
C		2.0	2.6	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0		
D		3.0	3.9	4.5	6.0	7.5	9.0	10.5	12.0	13.5	15.0		
2Sp		0.5	0.625	0.75	1	1.25	1.5	1.75	2	2.25	2.5		
3Sp		0.5	0.625	0.75	1	1.25	1.5	1.75	2	2.25	2.5		
F=0.5 Sp		0.5	0.625	0.75	1	1.25	1.5	1.75	2	2.25	2.5		
		PIPE DIAMETER OR SPAN (in)											
		12	15	18	24	30	36	42	48	54	60		
TYPE 2		8	10	12	16	20	24	28	32	36	40		
B		9	11	14	18	23	27	32	36	41	45		
C		2.0	2.6	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0		
D		3.0	3.9	4.5	6.0	7.5	9.0	10.5	12.0	13.5	15.0		
2Sp		1.0	1.3	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0		
3Sp		1.0	1.3	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0		
F=Sp		1.0	1.3	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0		



AT PERPENDICULAR INTERSECTION  
PAINTED CROSSWALK  
N.T.S.

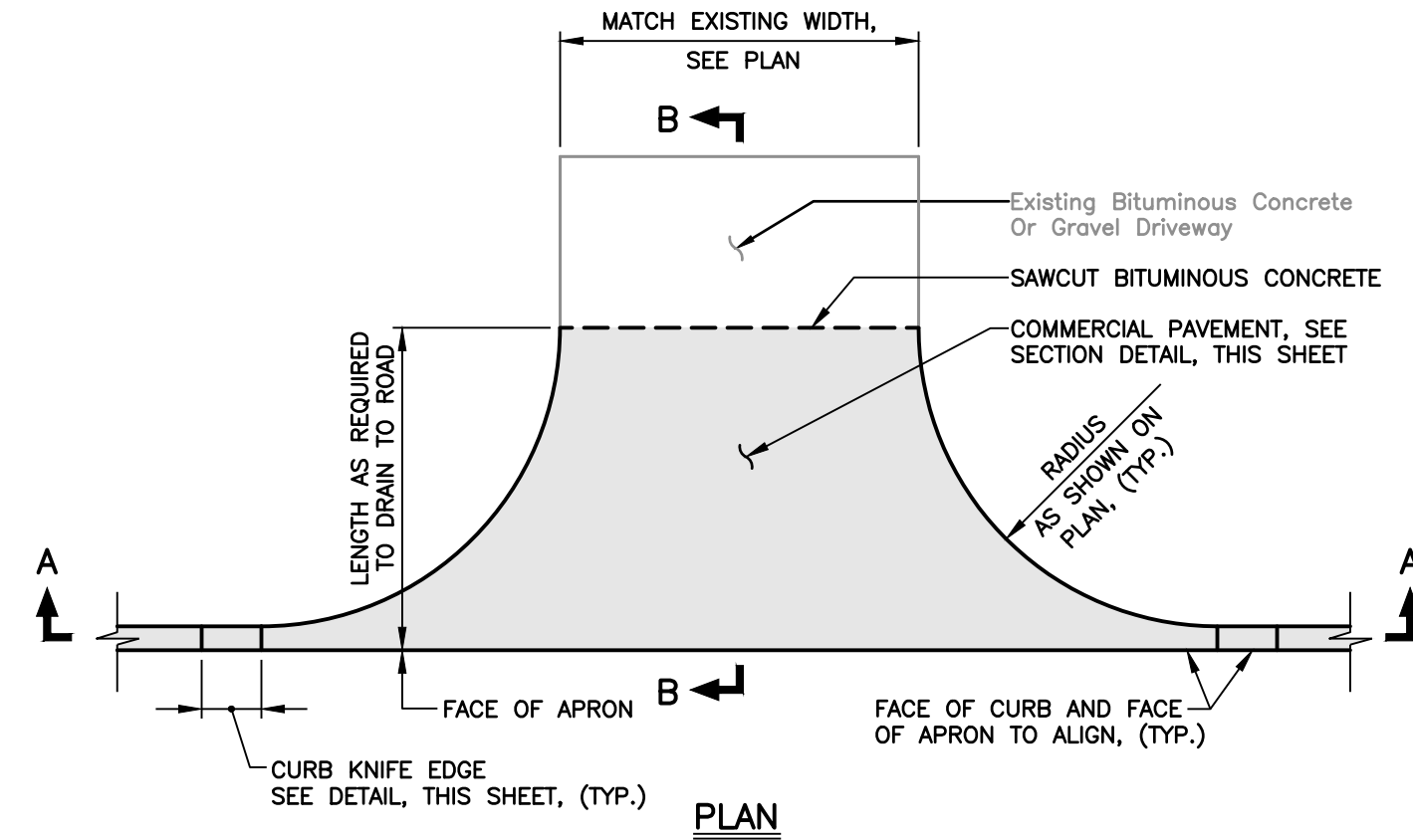


COMMERCIAL PAVEMENT SECTION  
N.T.S.

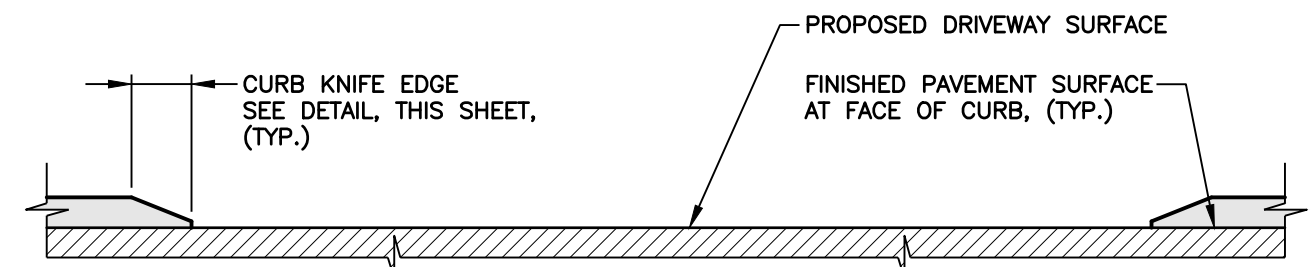


TYPICAL TRENCH SECTION  
STORM DRAINAGE PIPE  
N.T.S.

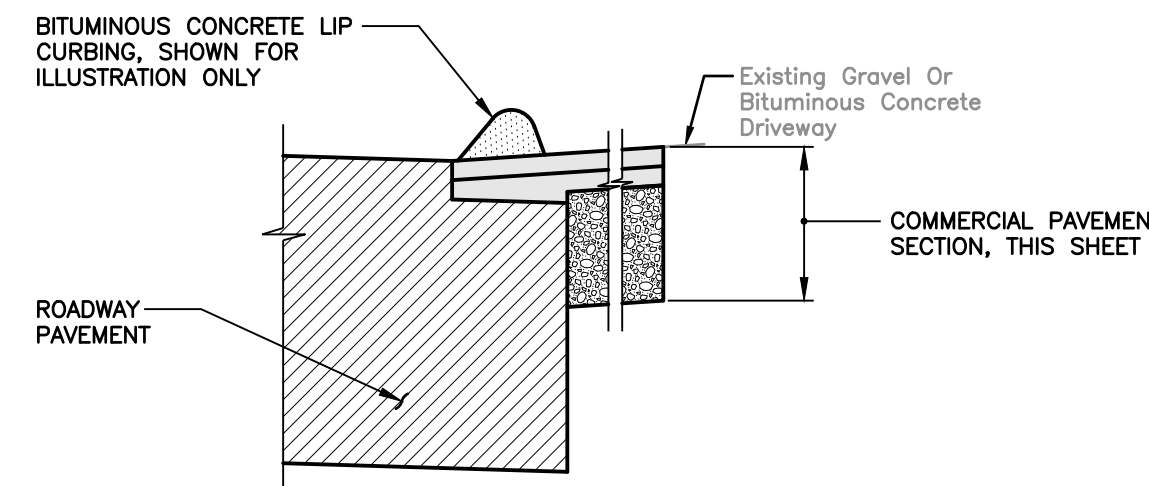
- NOTES:
- CONTRACTOR SHALL PROTECT EXCAVATIONS BY SHORING, BRACING, SHEET PILING, UNDERPINNING OR OTHER METHODS TO PREVENT CAVE-IN OR LOOSE SOIL FROM FALLING INTO THE EXCAVATION AND DAMAGING THE WORK OR ADJACENT STRUCTURES AND UTILITIES.



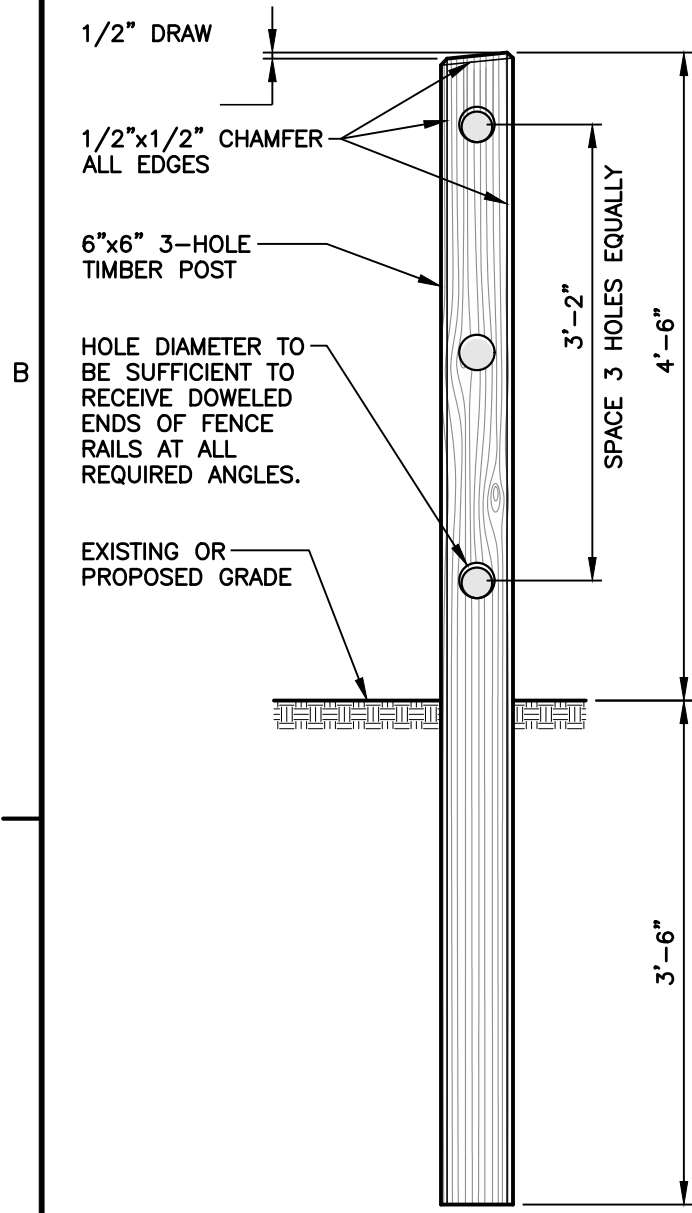
PLAN



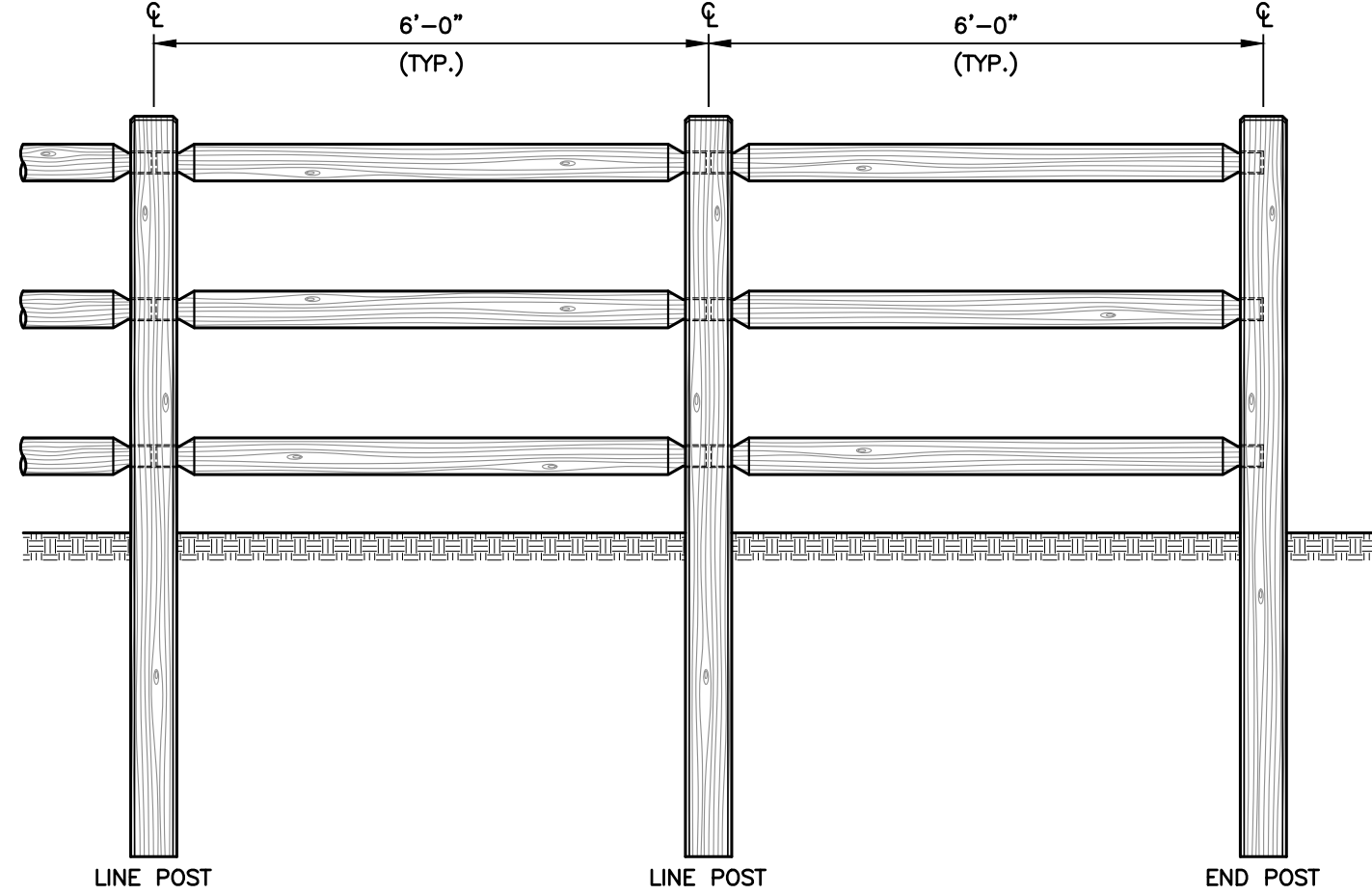
SECTION A-A



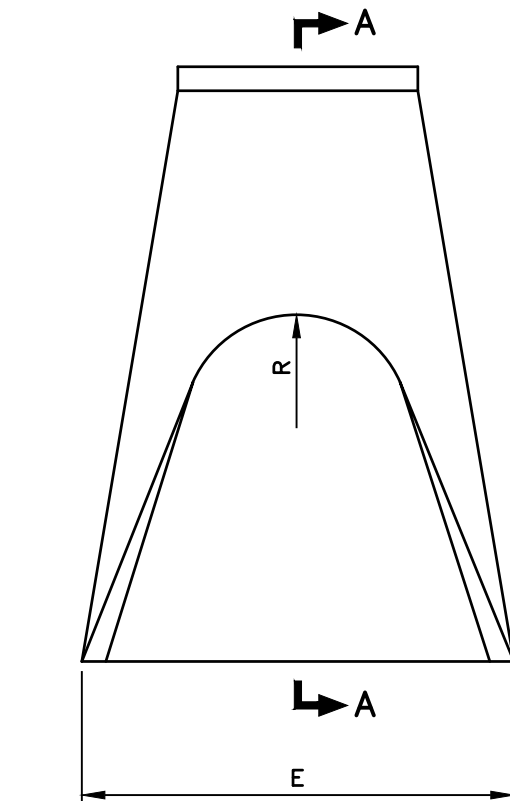
SECTION B-B  
DRIVEWAY APRON (COMMERCIAL)  
N.T.S.



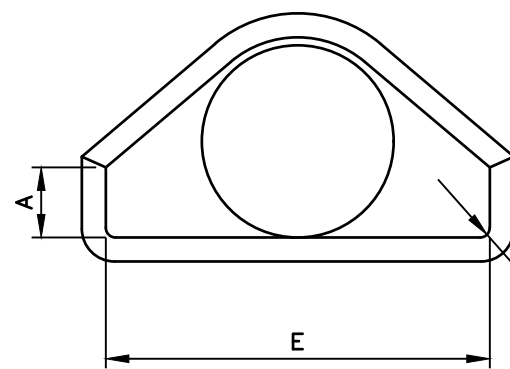
TYPICAL SECTION  
SCALE: 3/4"=1'-0"



WOOD RAIL FENCE  
SCALE AS SHOWN

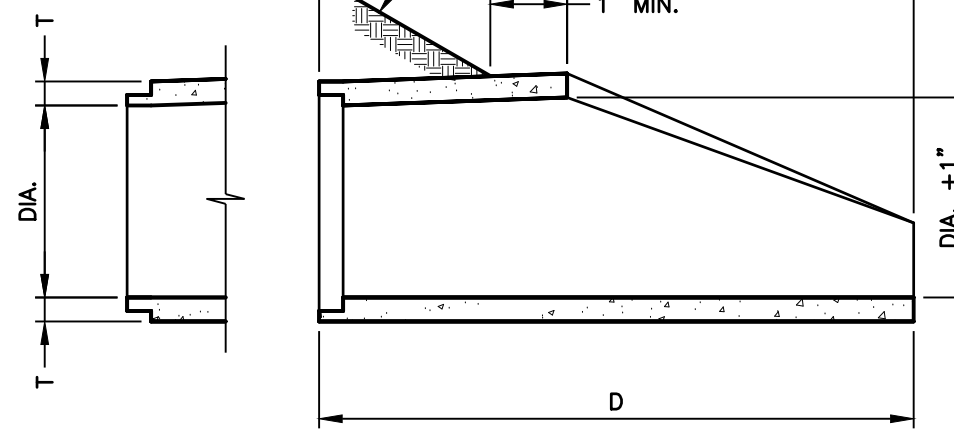


PLAN



END VIEW

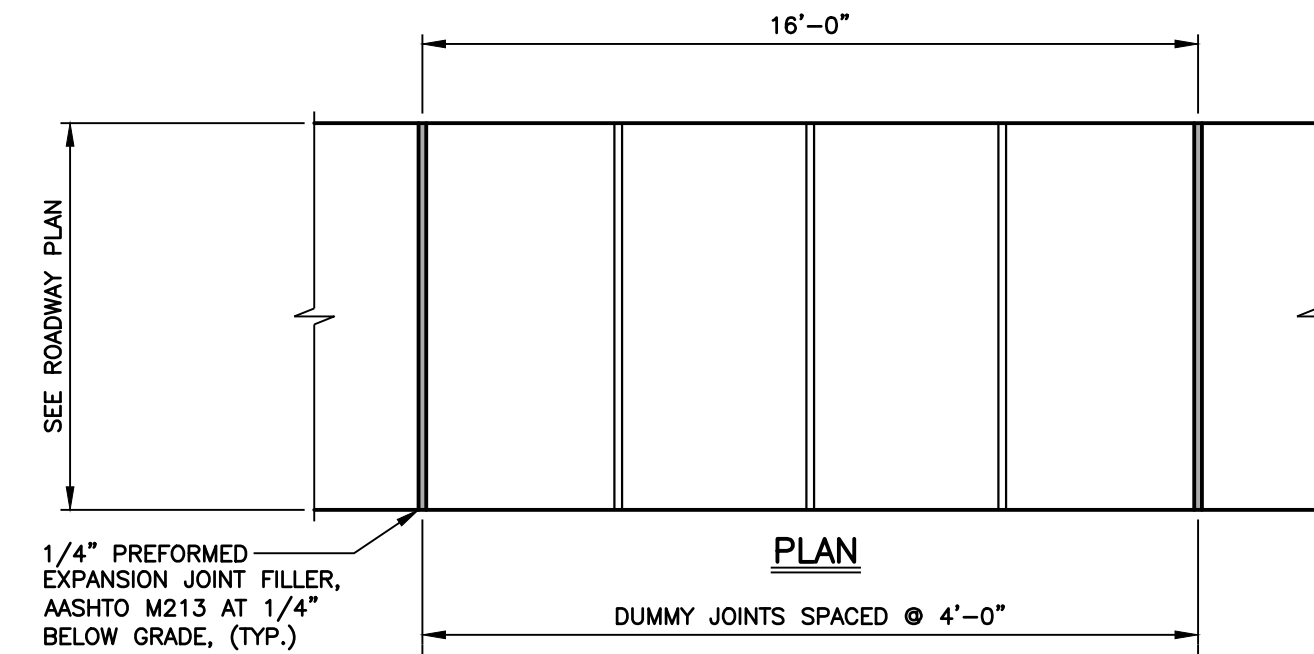
DIMENSIONS FOR REINFORCED CONCRETE CULVERT END						
PIPE DIA.	A	B	C	D	E	R
15"	6.00"	27.00"	46.00"	73.00"	30.00"	11.00"
18"	9.00"	27.00"	46.00"	73.00"	36.00"	12.00"
24"	9.50"	43.50"	30.00"	73.50"	48.00"	14.00"
30"	12.00"	54.00"	19.75"	73.75"	60.00"	15.00"
36"	15.00"	63.00"	34.75"	97.75"	72.00"	20.00"



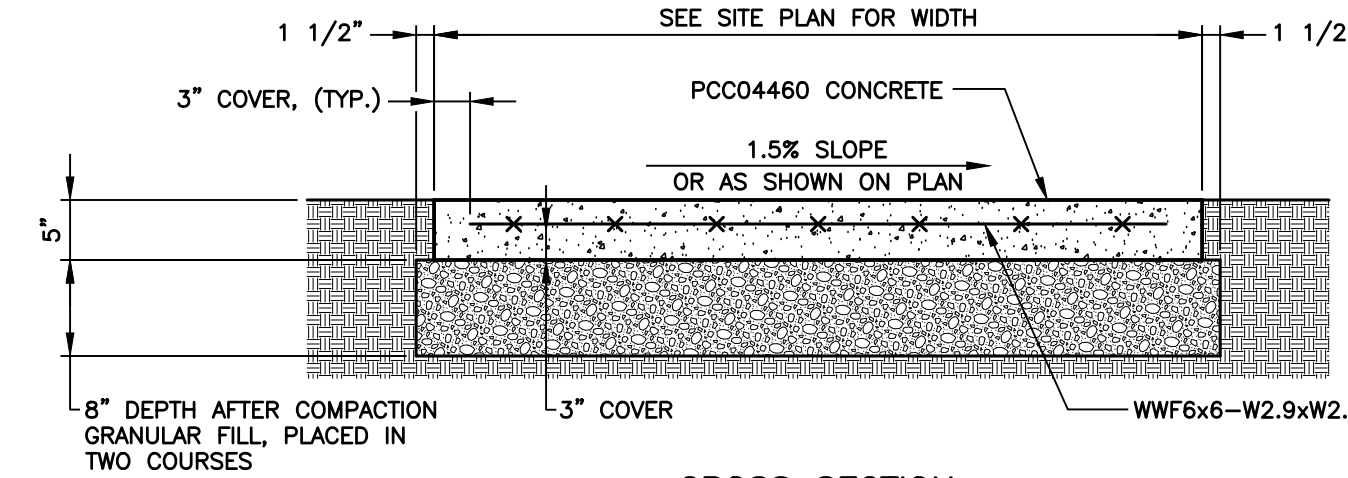
SECTION A-A

REINFORCED CONCRETE CULVERT END  
N.T.S.

- NOTES:
- JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE INSTALLED.
  - WALL THICKNESS, T SHALL CONFORM TO PIPE THICKNESS.



LONGITUDINAL SECTION



CROSS SECTION  
CONCRETE SIDEWALK  
N.T.S.

- NOTES:
- PROVIDE TRANSVERSE BROOM FINISH.
  - OUTSIDE EDGES OF SLAB AND ALL JOINTS TO BE EDGED WITH A 1/4" RADIUS EDGING TOOL.

- NOTES:
- SEE SHEET 2 FOR PROJECT NOTES.

## TOWN OF HEBRON PEDESTRIAN BRIDGE AND TRAIL PENDLETON DRIVE TO LIBRARY

### SITE DETAILS

### CONTRACT DRAWINGS

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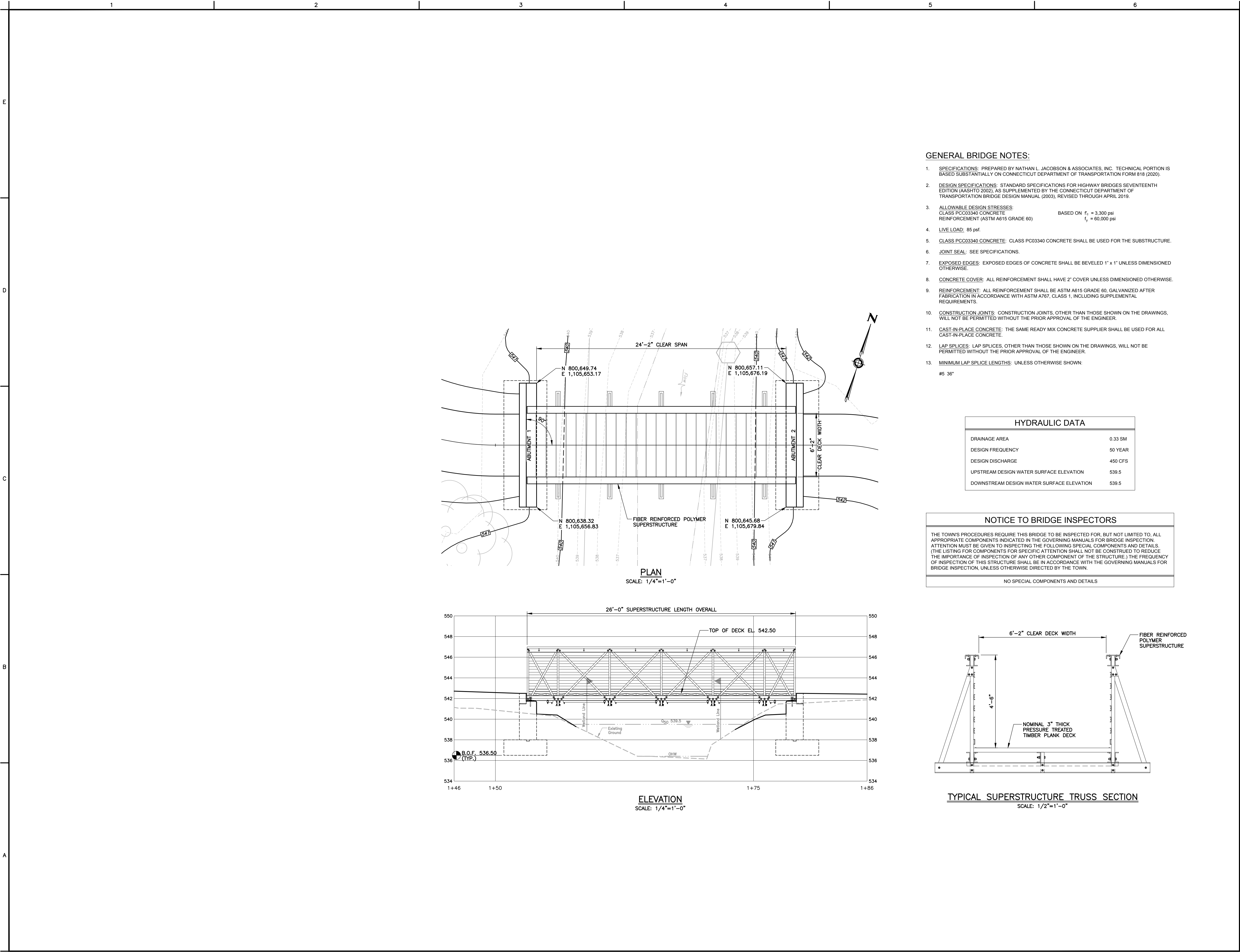
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CT REGISTRATION No. 14400

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REVISIONS		
No.	DESCRIPTION	DATE

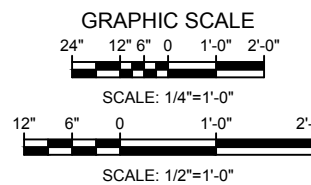
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SCALE: AS NOTED	
PROJECT No.: 06480092	
CADD FILE: 06480092.D	
DESIGNED: THF	
DRAWN: CEB	
CHECKED:	





NOTES:

- SEE SHEET 2 FOR PROJECT NOTES.



TOWN OF HEBRON

PEDESTRIAN BRIDGE  
AND TRAIL

PENDLETON DRIVE  
TO LIBRARY

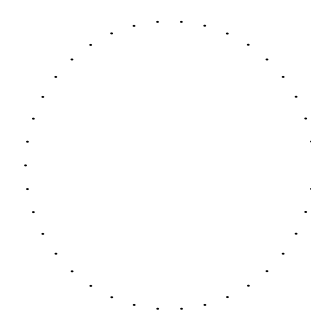
TRAIL BRIDGE  
GENERAL PLAN

CONTRACT DRAWINGS

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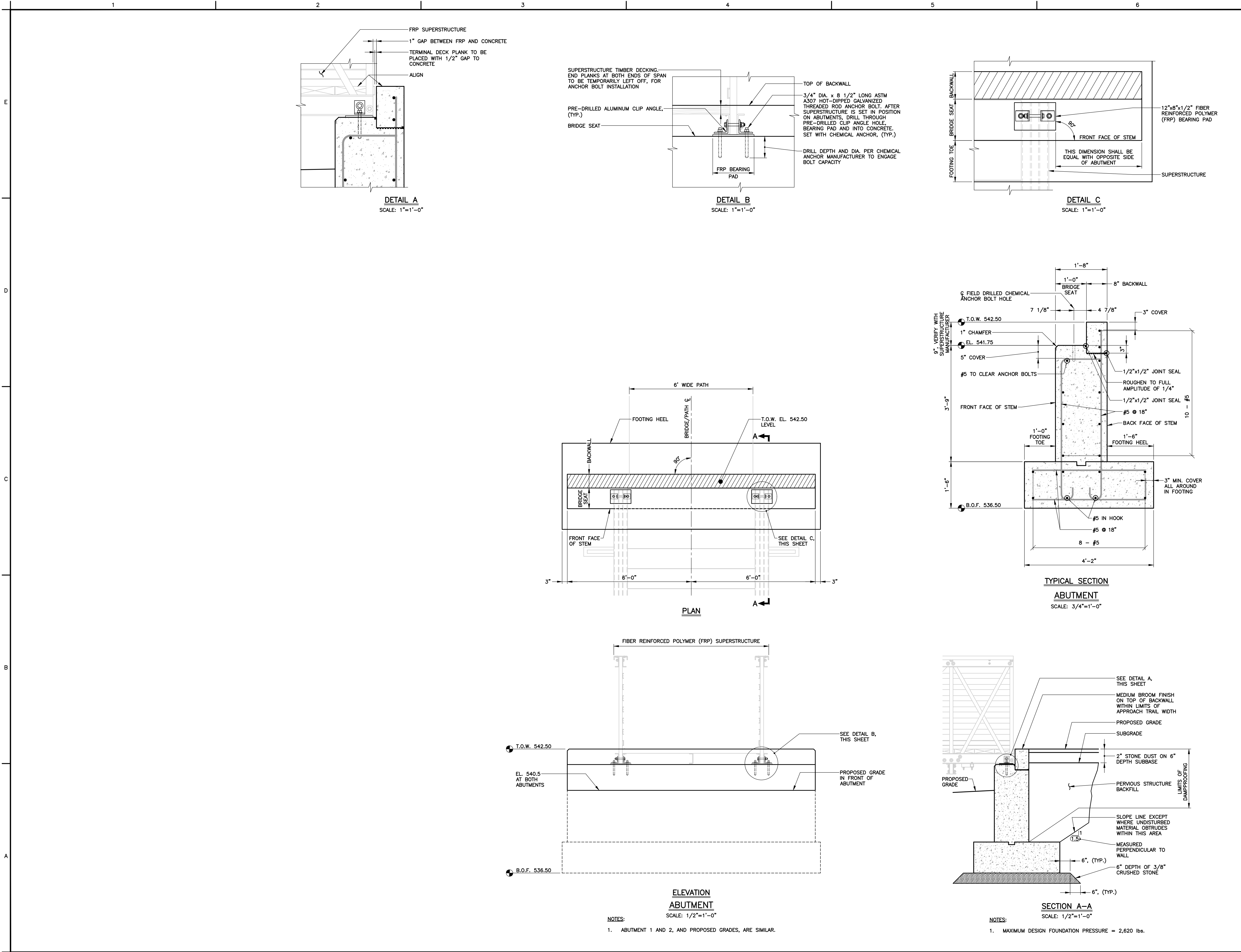
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REVISIONS		
No.	DESCRIPTION	DATE

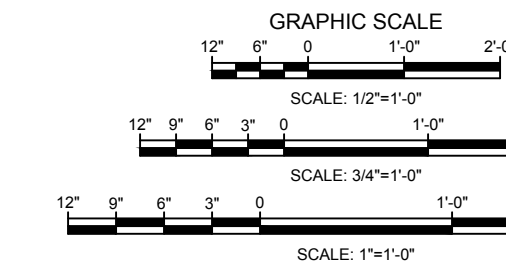
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CADD FILE: 06480002SR  
DESIGNED: JHP  
DRAWN: AJG  
CHECKED: -

SHEET No.:  
  
10 OF 14





NOTES:  
1. SEE SHEET 2 FOR PROJECT NOTES.



TOWN OF HEBRON  
PEDESTRIAN BRIDGE  
AND TRAIL  
PENDLETON DRIVE  
TO LIBRARY

ABUTMENT DETAILS

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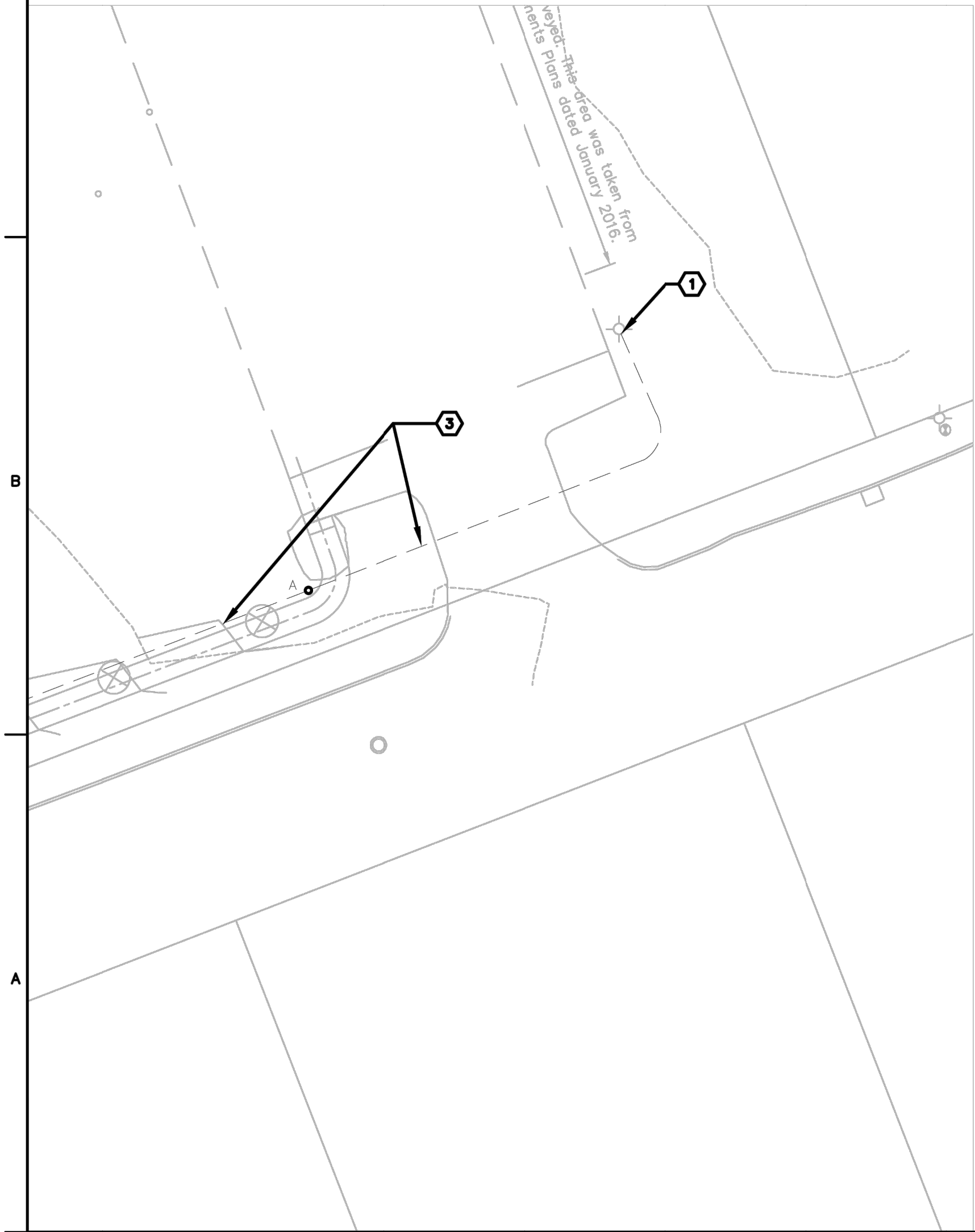
REVISIONS		
No.	DESCRIPTION	DATE

DATE: FEBRUARY 2024 SCALE: AS SHOWN PROJECT No.: 06480002 CADD FILE: 06480002SR DESIGNED: JHP DRAWN: AJG CHECKED: -	SHEET No.:  <b>11 OF 14</b>
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ELECTRICAL WORK NOTES	
1	CONTRACTOR TO EXCAVATE BASE OF EXISTING LIGHT POLE TO UNCOVER EXISTING CONDUIT FEEDING LIGHT POLE. USE EXISTING CONDUIT TO RUN NEW WIRING INTO BASE OF EXISTING LIGHT POLE AND CONNECT TO EXISTING WIRING IN BASE OF POLE TO FEED NEW LIGHT FIXTURES. BACKFILL AS DIRECTED BY CIVIL ENGINEER AND OWNER.
2	NEW 2" RGS CONDUIT TO RUN ALONG BASE OF NEW BRIDGE. PROVIDE EXPANSION FITTINGS AT EACH END OF CONDUIT. COORDINATE EXACT LOCATION ON BRIDGE WITH CIVIL ENGINEER AND OWNER.
3	2#10, 1#10G

NOTES:  
1. SEE SHEET 2 FOR PROJECT NOTES.



TOWN OF HEBRON  
PEDESTRIAN BRIDGE  
AND TRAIL  
PENDLETON DRIVE  
TO LIBRARY

ELECTRICAL LIGHTING PLAN

CONTRACT DRAWINGS

NOT VALID WITHOUT ORIGINAL SEAL

REVISIONS		
No.	DESCRIPTION	DATE

DATE: FEBRUARY 2024  
SCALE: N.T.S.  
PROJECT No.: 2023527.00  
CADD FILE: N/A  
DESIGNED: LMG  
DRAWN: MH  
CHECKED: LMG

SHEET No.:  
13 OF 14



I:\Civil\3D\064840920\_Production Drawings\Elec Drawings.dwg, 3/5/2024, 4:53:06 PM, AutoCAD PDF (General Documentation).pc3

	1	2	3	4	5	6
E						
D						
C						
B						
A						

ELECTRICAL SPECIFICATIONS	
1. PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT WORK TO BE PERFORMED. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS. INCLUDE IN THE BID ALL DEMOLITION WORK REQUIRED.	16. THE CONTRACTOR SHALL BE REQUIRED TO PROPERLY STORE MATERIALS AND EQUIPMENT SO AS TO AVOID THEFT OR VANDALISM. IF THEFT OR VANDALISM OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH ITEMS AT THE DIRECTION OF THE ENGINEER.
2. SCOPE OF WORK CONSISTS OF INSTALLATION OF MATERIALS TO BE FURNISHED UNDER THE CONTRACT DOCUMENTS AND WITHOUT LIMITING GENERALITY THEREOF CONSISTS OF FURNISHING LABOR, MATERIALS, EQUIPMENT, HOISTING, PLANT, TRANSPORTATION, RIGGING, STAGING, APPURTENANCES, AND SERVICES NECESSARY AND/OR INCIDENTAL TO PROPERLY COMPLETE ALL ELECTRICAL WORK AS SHOWN ON THE DRAWINGS AS DESCRIBED HEREIN.	17. THE CONTRACTOR MUST COORDINATE ALL INTERRUPTIONS OF SERVICES AND LIMITATIONS OF ACCESS WITH THE OWNER NO LESS THAN 3 DAYS PRIOR TO THE INTERRUPTION.
3. THE FOLLOWING DEFINITIONS APPLY TO THIS CONTRACT:  A. FURNISH: THE TERM "FURNISH" IS USED TO MEAN "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS."  B. INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL "UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS."  C. PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."	18. GROUNDING SHALL BE COMPLETED IN ACCORDANCE WITH NFPA 70. GROUND EXPOSED, NON-CURRENT-CARRYING METALLIC PARTS OF ELECTRICAL EQUIPMENT, METALLIC RACEWAY SYSTEMS, GROUNDING CONDUCTOR IN METALLIC AND NONMETALLIC RACEWAYS, AND NEUTRAL CONDUCTOR OF WIRING SYSTEMS. WHERE GROUND FAULT PROTECTION IS EMPLOYED, ENSURE THAT CONNECTION OF GROUND AND NEUTRAL DOES NOT INTERFERE WITH CORRECT OPERATION OF FAULT PROTECTION.
4. PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK OUTLINED ON THESE CONTRACT DOCUMENTS. THE CONTRACTOR IS TO NOTE THAT THESE DOCUMENTS ARE DIAGRAMMATIC ONLY AND THAT FINAL PLACEMENT OF EQUIPMENT OR DEVICES IN THE FIELD MAY NOT DIRECTLY CORRESPOND TO THAT IN WHICH IS SHOWN ON THE DRAWINGS. IF A CONFLICT IN POSITIONING OCCURS THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY TO ASCERTAIN WHAT THE INTENT WAS BY THE DESIGN PROFESSIONAL.	19. CONDUCTORS NO. 8 AWG AND LARGER DIAMETER SHALL BE STRANDED ANNEALED COPPER. CONDUCTORS NO. 10 AWG AND SMALLER DIAMETER SHALL BE SOLID ANNEALED COPPER, EXCEPT THAT CONDUCTORS FOR REMOTE CONTROL, ALARM, AND SIGNAL CIRCUITS, CLASSES 1, 2, AND 3, SHALL BE STRANDED UNLESS SPECIFICALLY INDICATED OTHERWISE. CONDUCTOR SIZES AND AMPACITIES SHOWN ARE BASED ON COPPER, UNLESS INDICATED OTHERWISE. UNLESS SPECIFIED OR INDICATED OTHERWISE OR REQUIRED BY NFPA 70, POWER AND LIGHTING WIRES SHALL BE 600-VOLT, TYPE THWN/THHN ANNEALED COPPER, REMOTE-CONTROL AND SIGNAL CIRCUITS SHALL BE TYPE TW, THW, OR TF ANNEALED COPPER. WHERE LIGHTING FIXTURES REQUIRE 90 DEGREES C CONDUCTORS, PROVIDE ONLY CONDUCTORS WITH 90 DEGREE C INSULATION OR BETTER.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STATE OF CONNECTICUT ACCEPTED REVISION OF THE NATIONAL ELECTRIC CODE (NEC), NFPA 70.	20. MAKE ALL SPLICES IN ACCESSIBLE LOCATIONS. MAKE SPLICES IN CONDUCTORS NO. 10 AWG AND SMALLER DIAMETER WITH INSULATED, PRESSURE-TYPE CONNECTOR. MAKE SPLICES IN CONDUCTORS NO. 8 AWG AND LARGER DIAMETER WITH SOLDERLESS CONNECTOR, AND COVER WITH INSULATION MATERIAL EQUIVALENT TO CONDUCTOR INSULATION.
6. OBTAIN IN OWNER'S NAME WRITTEN EQUIPMENT AND MATERIAL WARRANTIES OFFERED IN MANUFACTURER'S PUBLISHED PRODUCT DATA WITHOUT EXCLUSION OR LIMITATION.	21. PHASE CONDUCTORS SHALL BE IDENTIFIED BY COLOR CODING. THE COLOR OF THE INSULATION ON PHASES A, B, AND C RESPECTIVELY (FOR THREE PHASE) OR PHASES A AND B RESPECTIVELY (FOR SINGLE PHASE) OF DIFFERENT VOLTAGE SYSTEMS SHALL BE AS FOLLOWS: 120/208 VOLT, 3-PHASE: BLACK, RED, AND BLUE. 120/240 VOLT, SINGLE/PHASE: BLACK AND RED.
7. GUARANTEE WORK OF THESE CONTRACT DOCUMENTS IN WRITING FOR NOT LESS THAN ONE YEAR FROM DATE OF FINAL NOTICE OF ACCEPTANCE. REPAIR OR REPLACE DEFECTIVE MATERIALS, EQUIPMENT, WORKMANSHIP AND INSTALLATION THAT DEVELOP WITHIN THIS PERIOD, PROMPT AND TO OWNER'S SATISFACTION AND CORRECT DAMAGE CAUSED IN MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE WITHIN CONTRACT PRICE.	22. UNLESS OTHERWISE INDICATED, THE WIRING METHOD SHALL CONSIST OF THE INSTALLATION OF INSULATED CONDUCTORS INSTALLED IN RIGID PVC CONDUIT. PROVIDE INSULATED, GREEN EQUIPMENT GROUNDING CONDUCTOR IN FEEDER AND BRANCH CIRCUITS, INSTALLED IN CONDUIT OR RACEWAYS, INCLUDING LIGHTING CIRCUITS. GROUNDING CONDUCTOR SHALL BE SEPARATE FROM ELECTRICAL SYSTEM NEUTRAL CONDUCTOR. CONDUIT SIZES SHOWN ARE BASED ON USE OF COPPER CONDUCTORS WITH INSULATION TYPES AS INDICATED HEREIN. MINIMUM SIZE OF RACEWAYS SHALL BE 3/4 INCH.
8. SUPPLY TO THE OWNER AN OFFICIAL CERTIFICATE OF INSURANCE FOR THEIR RECORDS.	23. FOR POLE FIXTURES, WEATHERPROOF RECEPTACLES SHOWN SHALL BE MOUNTED IN A BOX WITH A GASKETED, WEATHERPROOF, CAST-METAL COVER PLATE AND GASKETED CAP OVER EACH RECEPTACLE OPENING.
9. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING AND BEING AVAILABLE FOR INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION.	24. PROVIDE ALL NECESSARY JUNCTION BOXES, PULL BOXES, PULL WIRES, COVER PLATES AND OTHER MISCELLANEOUS EQUIPMENT WHICH IS NOT SHOWN ON THE CONTRACT DOCUMENTS BUT NECESSARY TO COMPLETE THE WORK.
10. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.	25. PROVIDE SHOP DRAWINGS FOR LIGHT FIXTURES, CONDUIT, FITTINGS, WIRE, CONCRETE BASES, ETC.
11. ARRANGE INSTALLATION TO PROVIDE ACCESS TO EQUIPMENT FOR EASY MAINTENANCE AND REPAIR.	26. COORDINATE ALL WORK WITH OTHER TRADES AND ARRANGE INSTALLATION TO AVOID CLASHES BETWEEN EQUIPMENT, WORK OF OTHER TRADES.
12. DO NOT SCALE DRAWINGS. SCALE INDICATED ON DRAWINGS IS FOR ESTABLISHING REFERENCE POINTS ONLY. ACTUAL FIELD CONDITIONS SHALL GOVERN ALL DIMENSIONS.	27. PROVIDE 3-SETS OF AS-BUILT DRAWINGS, SUBMITTED TO THE OWNER, AT THE COMPLETION OF THE PROJECT.
13. MATERIALS AND EQUIPMENT SHALL BE UL LISTED WHERE STANDARD HAS BEEN ESTABLISHED.	28. PROVIDE (1) SPARE LED LAMP ASSEMBLY AND DRIVER, TURNED OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
14. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE AND DISPOSE OF ALL WASTE MATERIALS, PACKAGING MATERIAL, SKIDS ETC. FROM THE SITE AND DISPOSE OF IN A LAWFUL MANNER IN ACCORDANCE WITH MUNICIPAL, STATE AND FEDERAL REGULATIONS.	
15. PRIOR TO ORDERING ANY MATERIALS AND EQUIPMENT, THOROUGHLY REVIEW THE SITE CONDITIONS TO DETERMINE IF ADEQUATE CLEARANCE AND ACCESS IS ALLOWED TO INSTALL THE COMPONENTS. ORDER EQUIPMENT BROKEN DOWN AS NECESSARY TO ALLOW FOR PROPER HANDLING THROUGH THE PROJECT AREA. PROVIDE ALL NECESSARY ALTERATIONS TO THE STRUCTURE OF THE BUILDING AS NECESSARY TO RIG THE EQUIPMENT IN PLACE. CAREFULLY INSPECT ALL BUILDING ELEMENTS PRIOR TO CUTTING OR DRILLING INTO WALL, FLOORS OR CEILINGS.	

NOTES:  
1. SEE SHEET 2 FOR PROJECT NOTES.

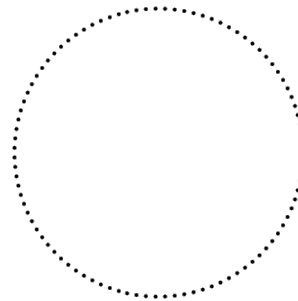


TOWN OF HEBRON  
  
PEDESTRIAN BRIDGE  
AND TRAIL  
PENDLETON DRIVE  
TO LIBRARY

ELECTRICAL SPECIFICATION

CONTRACT DRAWINGS

NOT VALID WITHOUT ORIGINAL SEAL



REVISIONS		
No.	DESCRIPTION	DATE

DATE: FEBRUARY 2024  
SCALE: N.T.S.  
PROJECT No.: 2023527-00  
CADD FILE: N/A  
DESIGNED: LMG  
DRAWN: MH  
CHECKED: LMG

SHEET No.:  
  
14 OF 14





# ***Town of Hebron***

**TOWN OFFICE BUILDING  
15 GILEAD STREET  
HEBRON, CONNECTICUT 06248  
TELEPHONE: (860) 228-5971  
FAX : (860) 228-5980  
[www.hebronct.com](http://www.hebronct.com)**

## **PLANNING & DEVELOPMENT**

PLANNING

ECONOMIC DEVELOPMENT

CONSERVATION

HEALTH

BUILDING

**CERTIFIED MAIL**

February 8, 2024

Matt Bordeaux, Director of Planning and Development  
Town of Hebron  
15 Gilead Street  
Hebron, CT 06248

**Re: Petition 2024-01 – 30 Pendleton Drive, 42 Pendleton Drive, 22 Main Street, and 28 Main Street, Town of Hebron, Construction of a Pedestrian Bridge and Trail and Associated Site Improvements within the Regulated Area**

### **NOTICE OF DECISION**

Dear Mr. Bordeaux:

After reviewing the application for construction of a pedestrian bridge and trail and associated site improvements within an inland wetlands upland review area and based upon the findings in accordance with Section 22a-41 of the Connecticut General Statutes, **approval** is granted for conducting the activity described in the above-referenced application, with the following conditions:

1. Work with the Town Engineer to determine the feasibility of the installation of a water quality swale between the paved leak-off and culvert outlet.
2. Examine the state of the stone walls and have the PZC take a closer look at their disposition.
3. Conservation and Inland Wetlands Agent will inspect SEC measures prior to and during construction.

We wish you success in this endeavor. Should you have any questions, please contact me at 860-228-5971 extension 139 or at [jcordier@hebronct.com](mailto:jcordier@hebronct.com)

For the Hebron Conservation and Inland Wetlands Commission:

*James P. Cordier*  
James P. Cordier, MPH RS  
Conservation and Inland Wetlands Agent  
Town of Hebron

cc: Matt Bordeaux, Director of Planning and Development  
Tom Loto, Chairman, Conservation and Inland Wetlands Commission  
File # 2024-01



October 28, 2022

Mr. Thomas Fenton  
Nathan L. Jacobson & Associates, Inc.  
86 Main Street  
Chester, Connecticut 06412-0337  
(via email only to [tfenton@nlja.com](mailto:tfenton@nlja.com))

Subject: Pedestrian Bridge and Trail  
Pendleton Road to Douglas Library  
Hebron, Connecticut


Dear Mr. Fenton:

The State Historic Preservation Office (SHPO) is in receipt of your request for our comments on the potential effects of the referenced project on historic properties. It is our understanding that the Town of Hebron plans to construct a pedestrian walkway from a municipal parking lot located on Pendleton Road behind the Hebron Fire Department west to a municipal parking lot associated with the Douglas Library. The project will consist of approximately 750 linear feet of pathway that measures approximately 5 feet in width, a pedestrian bridge over an unnamed tributary of Raymond Brook, new light fixtures, and electrical conduit. The proposed activities are subject to permitting from the United States Army Corps of Engineers. As a result, the proposed project is subject to review by this office pursuant to the provisions of Section 106 of the National Historic Preservation Act.

SHPO notes that the western end of the proposed project area is located within the Hebron Center Historic District. The Hebron Center Historic District was nominated to the National Register of Historic Places (NRHP) in 1993 as a locally significant center of political, commercial, educational, and religious activity that has developed since the eighteenth century. The district was also listed to the NRHP for its well-preserved examples of eighteenth and nineteenth century architecture. In addition, a previously recorded archeological site is located in the region surrounding the proposed trail (Site 67-3). Although the area containing the proposed project location is considered archaeologically sensitive, it is unlikely that the proposed project would disturb significant archeological resources because construction will be largely confined to previously disturbed areas as well as poorly drained soils not favorable to human habitation. Based on the information provided to our office, it is SHPO's opinion that the proposed improvements will not impact the character defining features of the Hebron Center Historic District and there will be no adverse effect to historic properties.

This office appreciates the opportunity to review and comment upon this project and we look forward to additional coordination. Do not hesitate to contact Cory Atkinson, Staff Archaeologist and Environmental Reviewer, for additional information at (860) 500-2458 or [cory.atkinson@ct.gov](mailto:cory.atkinson@ct.gov).

Sincerely,

A handwritten signature in blue ink that reads "Jonathan Kinney".

Jonathan Kinney  
State Historic Preservation Officer



**TOWN OF HEBRON  
PLANNING AND DEVELOPMENT DEPARTMENT**

**TO:** Planning and Zoning Commission

**FROM:** Matthew R. Bordeaux, Town Planner

**DATE:** March 6, 2024

**RE:** **Petition 2024-03** - Petition of John A. Bond, Jr., for a Special Permit to install a temporary storage structure in accordance with 2.D.11.3 of the Hebron Zoning Regulations on premises located at Parcel #35-15 East St, Residence-1 District.

***Introduction***

The applicant and property owner, Mr. John A. Bond, Jr., is requesting to place a temporary metal storage container at an approximately 15-acre parcel identified as Parcel #35/15 on East Street in the Residence-1 District. The subject parcel is split by the Andover town line, with approximately 13 acres in Hebron and 2 acres in Andover. The applicant is requesting to place a temporary metal storage container for the storage of “maintenance tools and supplies” until the home and garage are built. The container would be 20’ long x 8’ wide and 8.5’ high.

The applicant is preparing a building permit application for construction of a new home and anticipates applying in approximately six (6) months.

The Hebron Zoning Regulations Section 2.D.11 provides for Temporary Storage in residential zones and Section 2.D.11.3 specifically notes that “Temporary storage structure(s) if not in accordance with above” are subject to Special Permit approval by the Commission. A copy of Section 2.D.11 is attached for your review.

**MRB**

H:\Matt\Boards & Commissions\PZC\Applications\2024-03 East St Temp Accessory Structure\Review Memo.docx

**Attach.**



# Town of Hebron, Connecticut



Town Office Building  
15 Gilead Street; Hebron, Connecticut 06248  
Phone: (860) 228-5971 Fax: (860) 228-5980



## SPECIAL PERMIT APPLICATION

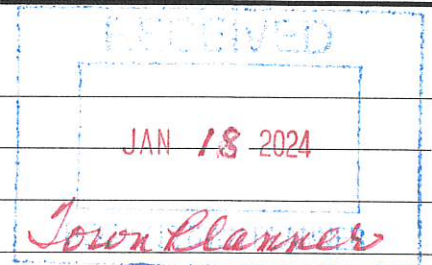
☒ New Special Permit Application;    ☐ Amendment to Approved Special Permit

### Applicant Information:

Name: TOMMY A. BONO, JR.  
Address: 43 STEADMAN CIRCLE, SOUTH WINDSOR, CT 06074  
Phone: 860-281-5432 Fax: -  
Email: jabjr122@yahoo.com  
Legal Interest: OWNER

### Owner Information:

Name: TOMMY A. BONO, JR. & ALISON F. BONO  
Address: - SAME AS ABOVE -  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_



☒ Attached is documentation verifying ownership of the property.

### Subject Parcel:

Address: NO STREET NUMBER ASSIGNED. ADJUTS 564 EAST STREET TO THE SOUTH.  
Size: 13.92 AC. +/- HEBRON Zone: R-1 Assessor's Map and Lot #: 35/15  
2.14 AC. +/- ANDOVER  
Is the subject parcel within 500 ft. of the Town boundary? ☒ yes ☐ no

### Requested Use:

Application is made under Section 2-D.11.3 of the Hebron Zoning Regulations, requesting approval of the following use: PLACEMENT OF A TEMPORARY METAL STORAGE CONTAINER MEASURING 20' L x 8' W x 8' H.  
PROPERTY WAS PURCHASED ON 11-20-23. A PORTION OF THE PROPERTY HAS BEEN REGULARLY FARMED. THESE PORTIONS NOT FARMED HAVE BEEN NEGLECTED. STORAGE WILL BE USED FOR MAINTENANCE TOOLS AND SUPPLIES UNTIL HOME AND GARAGE ARE BUILT.

### Relationship of Proposed Special Use to the Plan of Development:

PROPERTY IS DESIGNATED AS UNCOMMITTED RESIDENTIAL LAND IN THE 2014 PLAN OF CONSERVATION AND DEVELOPMENT. THE PROPOSED SPECIAL USE HAS NO ADVERSE IMPACT OR RELATIONSHIP WITH SAID PLAN OF CONSERVATION AND DEVELOPMENT.



**Benefits of Proposed Special Use to the Town of Hebron:**

THE ALLOWANCE OF THE REQUESTED TEMPORARY STORAGE WILL ALLOW FOR A MORE AESTHETICALLY PLEASING AND ORDERLY APPEARANCE OF THE PROPERTY WHILE EFFORTS ARE BEING MADE TO CLEAN, MANAGE AND MAINTAIN THE PROPERTY PRIOR TO SEEKING A BUILDING PERMIT FOR A SINGLE-FAMILY HOME. IT IS ANTICIPATED THAT A BUILDING PERMIT WILL BE APPLIED FOR WITHIN 6 MONTHS

**Parties of Interest\*:**

Engineer/ Architect Name: DESIGN PROFESSIONALS, INC.  
Address: 21 JEFFREY DRIVE, P.O. Box 1167, South Windsor, CT 06074  
Phone: 860-291-8753 Fax: 860-291-8757  
Email: p.demackie@designprofessionalsinc.com

Developer/ Builder Name: PENDING  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

\*Complete information in this section as applicable.

**Taxes:**

Are all real estate, sewer use, and sewer assessment taxes current? ☒ yes ☐ no  
☒ Attached is proof of payment. (Required)

**Fees:**

Town Fee\* \$ \_\_\_\_\_ + \$10 Processing Fee + \$60.00 (State Fee) = \$ \_\_\_\_\_ (payable to the Town of Hebron)

\* Town fee is established by Town ordinance.

**Signatures:**

Signature of Owner(s) [Signature] Date: 1.18.2024  
Signature of Applicant(s) [Signature] Date: 1.18.2024





Local Conveyance Tax: 517.21  
State Conveyance Tax: 1551.64

**BK 615 PG 67**  
Instr # 202301117  
11/22/2023 09:06:25 AM  
3 Pages  
WARRANTY DEED  
Francesca Villani  
Town Clerk

Record & Return to:  
John A. and Alison F. Bond  
43 Stedman Circle  
South Windsor, CT 06074

## WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING:

KNOW YE, THAT, **Jean B. Derby**, of the Town of Hebron, County of Tolland and State of Connecticut, acting herein by her Agent-in-Fact, Susan J. Derby, by virtue of a Power of Attorney dated February 4, 2023 and recorded June 26, 2023 in Volume 611, Page 452 of the Hebron Land Records, (hereinafter "Grantor")

for the consideration of **TWO HUNDRED SEVENTY THOUSAND AND NO/100 (\$270,000.00) DOLLARS**,

grants to **John A. Bond, Jr. and Alison F. Bond**, of the Town of South Windsor, County of Hartford and State of Connecticut, (hereinafter "Grantees,") as joint tenants with rights of survivorship

with **WARRANTY COVENANTS** in or to that certain piece or parcel of land situated in the Town of Hebron and Town of Andover, County of Tolland and State of Connecticut known as **0 East Street** and more particularly described in

### Schedule A attached hereto

SAID PREMISES ARE CONVEYED SUBJECT TO:

- (1) Any and all provisions of any ordinance, municipal regulation or public or private law.
- (2) Taxes in favor of the Town of Hebron and Andover on the Grand List of October 1, 2022, and thereafter, not yet due and payable, which taxes the Grantee herein assumes and agrees to pay.
- (3) Grantee acknowledges that the property may not be subdivided for a period of five (5) years from the date of this deeds recording.
- (4) Easement in favor of The Connecticut Light and Power Company dated November 20, 1948 and recoded December 28, 1948 in Volume 44, Page 288 of the Hebron Land Records.
- (5) Assessor's Notice recorded in Volume 82, Page 1 of the Hebron Land Records.
- (6) An Easement in favor of 564 East Street as set forth in a Warranty Deed from Jean B. Derby, acting herein by her Agent-in-Fact, Susan J. Derby to Bobby Bruneau and Donna Bruneau dated June 19, 2023 and recorded June 26, 2023 in Volume 143, Page 530 of the Andover Land Records







## SCHEDULE A

Property Description  
East Street  
Hebron and Andover

and unto the survivor of them; and unto such survivor's heirs and assigns forever, that certain piece or parcel of land situated in the Towns of Hebron and Andover, both in the County of Tolland, and State of Connecticut, and bounded and described as follows:

NORTHERLY: By other land of the Grantees herein;

EASTERLY: By land formerly of Jeffrey Olin

SOUTHEASTERLY  
& SOUTHERLY: By land now or formerly of Harbhorn; and

Westerly: By East Street.

Containing 15.1 acres, more or less.

Reference may be had to a map entitled, "Boundary Survey James L. Jr. and Jean B. Derby 564 East Street, Hebron, Connecticut 5/18/88"

Received for Record  
Hebron Town Clerk  
11/22/2023 09:06:25 AM  
Vol 615 Pg 67  
3 Pages





## Town of Hebron

## Bill Information

## Taxpayer Information

**Bill Information As of 01/16/2024**

\*\*\* Note: This is not a tax form, please contact your financial advisor for information regarding tax reporting. \*\*\*

\*\*\* Total payments made to taxes in 2023





Town of Andover

Town of Andover
17 SCHOOL RD
ANDOVER, CT 06232

## Bill Information



## Taxpayer Information

Bill #	2021-1-0000363 (REAL ESTATE)	Town Benefit	
Unique ID	13	Elderly Benefit	
District/Flag			
Name	DERBY JAMES L JR & JEAN B	Assessment	2,100
Care of/DBA		Exemption	0
Address		Net	2,100
Detail Information	EAST ST		
Volume/Page		Mill Rate	Town 31.91

**Bill Information As of 01/16/2024**

Installment	Due Date	Town			Total Due
Inst #1	07/01/2022	67.01			
Inst #2	10/01/2022				Tax/ Prlnc/ Bond Due 0.00
Inst #3	01/01/2023				Interest Due 0.00
Inst #4	04/01/2023				Lien Due 0.00
Total Adjustments		0.00			Fee Due 0.00
Total Installment + Adjustment		67.01			Total Due Now 0.00
Total Payments		67.01			Balance Due 0.00

\*\*\* Note: This is not a tax form, please contact your financial advisor for information regarding tax reporting. \*\*\*

### Payment History

[illegible]

*** Total payments made to taxes in	2023	\$0.00
-------------------------------------	------	--------











Aerial View of Lot

← N

781.98

767.88

Town Line

Approx. Site

EAST ST.





View to Southern Abutting Neighbor

↓ N





View from East Street

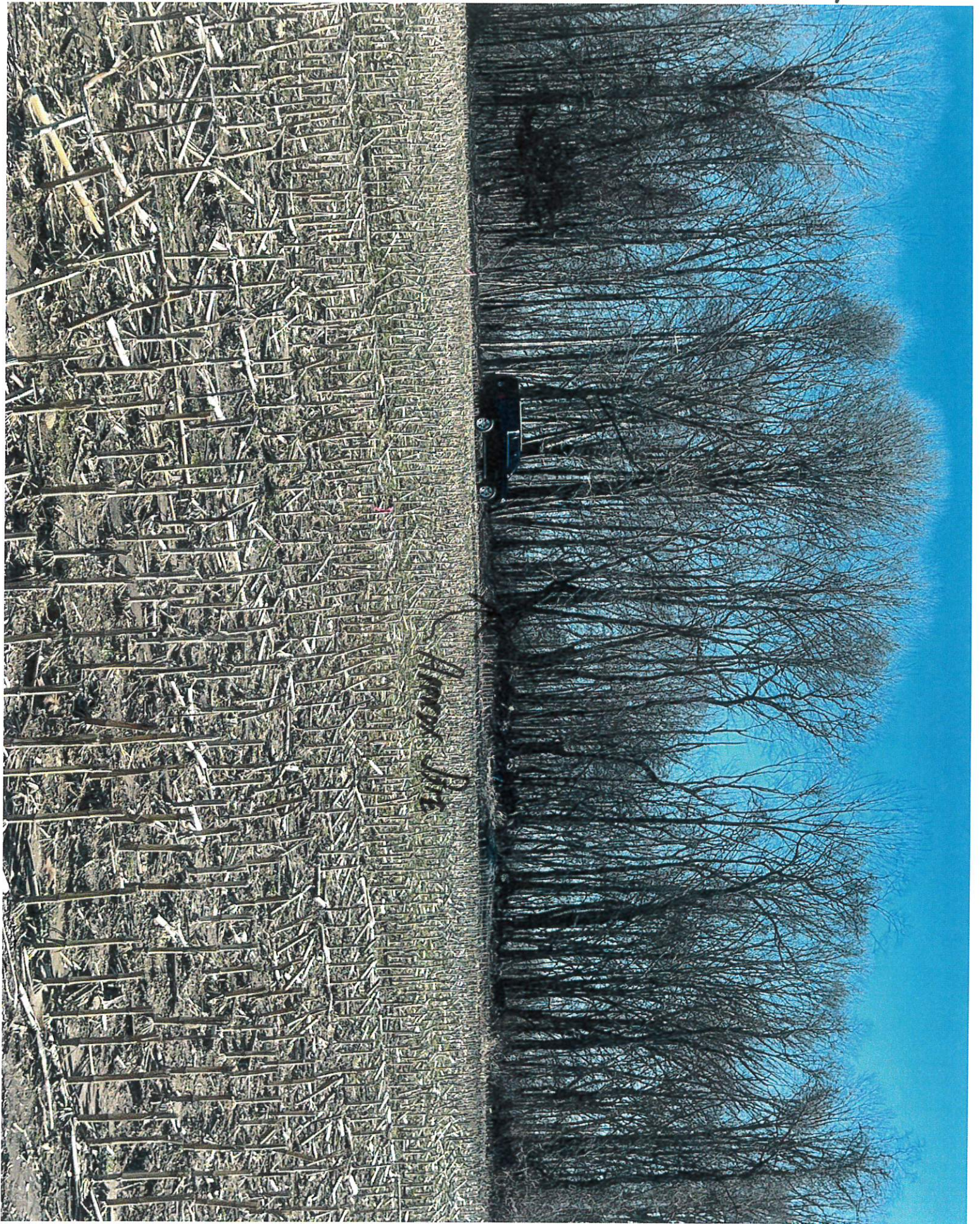
↑ N





View of Approx. Site

↑N







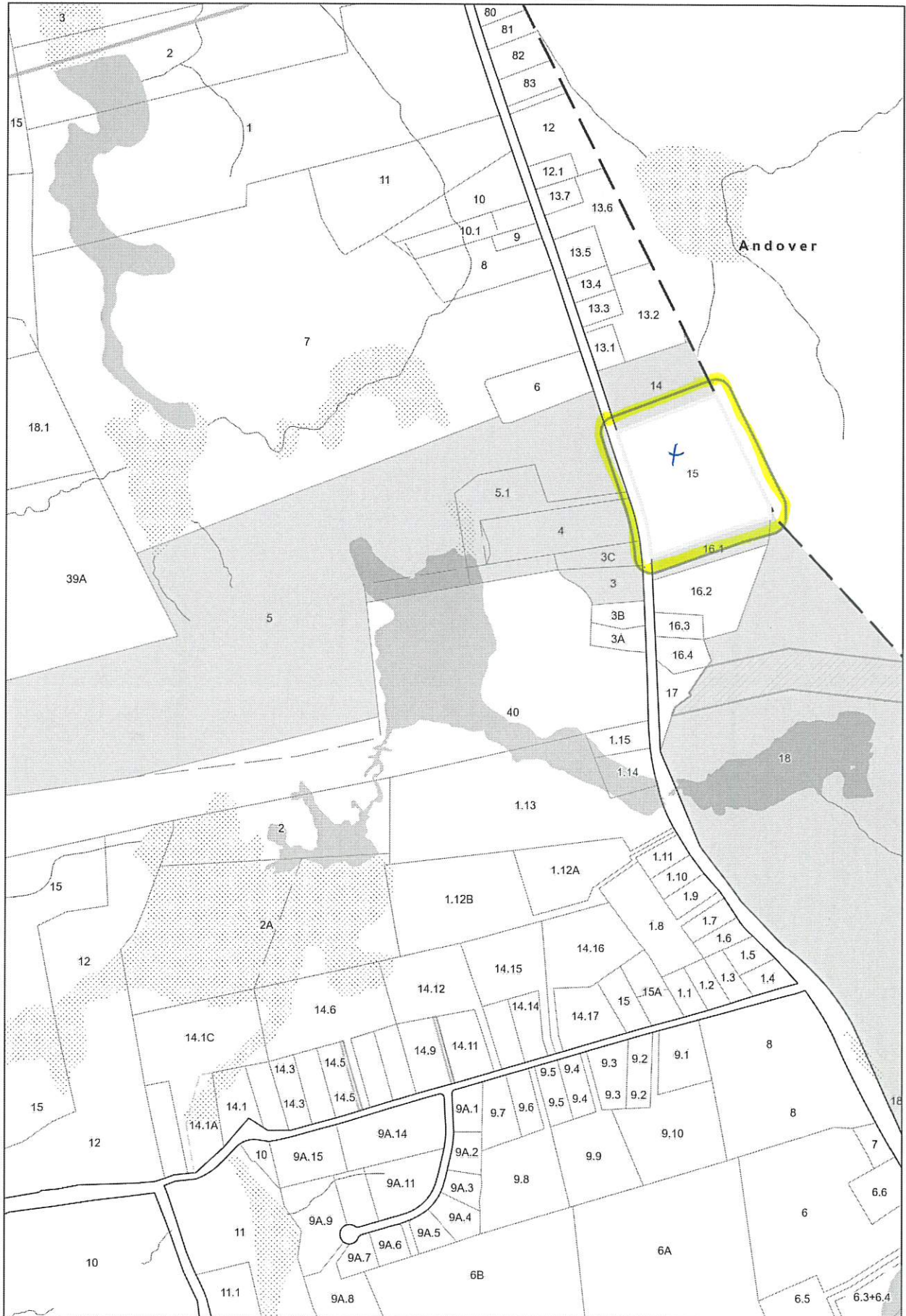
Hebron, CT



January 22, 2024

1 inch = 562 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





# 100 foot Abutters List Report

Hebron, CT  
January 22, 2024

*SPECIAL PERMIT - TOWN & ALISON FORD  
35/16 EAST ST*

## Subject Property:

Parcel Number: 35-15  
CAMA Number: 35-15  
Property Address: EAST ST

Mailing Address: DERBY JEAN B  
564 EAST ST  
HEBRON, CT 062481123

## Abutters:

Parcel Number: 35-14  
CAMA Number: 35-14  
Property Address: 564 EAST ST

Mailing Address: BRUNEAU BOBBY & DONNA  
564 EAST ST  
HEBRON, CT 062481123

Parcel Number: 35-16.1  
CAMA Number: 35-16.1  
Property Address: 528 EAST ST

Mailing Address: ROBERTS LISA & RODERICK SHAYNE &  
HERY CHELSEA  
600 BUCKLEY HIGHWAY  
UNION, CT 06076

Parcel Number: 35-18  
CAMA Number: 35-18  
Property Address: 444 EAST ST

Mailing Address: HARTFORD NEIGHBORHOOD CENTERS  
INC  
38 LAWRENCE ST  
HARTFORD, CT 061060000

Parcel Number: 35-3  
CAMA Number: 35-3  
Property Address: 523 EAST ST

Mailing Address: HOLMGREN CARL G JR  
523 EAST ST  
HEBRON, CT 062481134

Parcel Number: 35-3C  
CAMA Number: 35-3C  
Property Address: 531 EAST ST

Mailing Address: CANTONE JOSEPH A & SANDRA L  
531 EAST ST  
HEBRON, CT 062481134

Parcel Number: 35-4  
CAMA Number: 35-4  
Property Address: 539 EAST ST

Mailing Address: OSTAFIN GARRETT E  
539 EAST ST  
HEBRON, CT 062481134

Parcel Number: 35-5  
CAMA Number: 35-5  
Property Address: 559 EAST ST

Mailing Address: GRAHN STEVEN E  
559 EAST ST  
HEBRON, CT 062481134

Parcel Number: 35-5.1  
CAMA Number: 35-5.1  
Property Address: 543 EAST ST

Mailing Address: GRAHN MARK K & DEBORAH R  
543 EAST ST  
HEBRON, CT 062481134



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## Section 2.D

### RESIDENCE DISTRICTS & USES

#### ACCESSORY USES AND STRUCTURES

2.D.11. TEMPORARY STORAGE	R-1	R-2	AL
1. Provided that such structure shall be placed on the driveway and shall not be located in a required yard setback: a. one (1) temporary storage structure of up to 8' x 8' x 16' for a period of up to 90 days total in any twelve month period; or b. two (2) temporary storage structures of up to 8' x 8' x 16' each for a period of up to 30 days total in any twelve month period.	No Zoning Permit Required	No Zoning Permit Required	No Zoning Permit Required
2. Provided that such structure shall be placed on the driveway and shall not be located in a required yard setback: a. one (1) temporary storage structure of up to 8' x 8' x 16' for a period of up to 180 days total in any twelve month period; or b. two (2) temporary storage structures of up to 8' x 8' x 16' each for a period of up to 60 days total in any twelve month period.	Zoning Permit (Staff)	Zoning Permit (Staff)	Zoning Permit (Staff)
3. Temporary storage structure(s) if not in accordance with the above.	Special Permit (PZC)	Special Permit (PZC)	Special Permit (PZC)

2.D.12. ENERGY / MECHANICAL EQUIPMENT	R-1	R-2	AL
1. <b>Solar Energy</b> – Solar panels when attached to a wall or roof and project no more than twelve inches (12”) from the wall or roof.	No Zoning Permit Required	No Zoning Permit Required	No Zoning Permit Required
2. <b>Solar Energy</b> - Solar panels when not attached to a wall or roof or when project more than twelve inches (12”) from a wall or roof.	Zoning Permit (Staff)	Zoning Permit (Staff)	Zoning Permit (Staff)
3. <b>Wind Energy</b> – A wind turbine with rated capacity of one hundred (100) kW or less provided the total height does not exceed 100 feet and the tower is set back at least 100 feet from the nearest property line.	Special Permit (PZC)	Special Permit (PZC)	Special Permit (PZC)
4. <b>Mechanical Equipment</b> – Generator, air conditioning condenser, compressor, propane tank or similar equipment provided such equipment shall meet the yard setbacks for an accessory structure and shall be located closer to the dwelling unit it serves than to any other dwelling.	Zoning Permit (Staff)	Zoning Permit (Staff)	Zoning Permit (Staff)